

NOTICE OF MEETING

PLANNING SUB COMMITTEE

Monday, 5th September, 2016, 7.00 pm - Civic Centre, High Road, Wood Green, N22 8LE

Members: Councillors Natan Doron (Chair), Vincent Carroll (Vice-Chair), Dhiren Basu, David Beacham, John Bevan, Clive Carter, Toni Mallett, Jennifer Mann, Peter Mitchell, James Patterson and Ann Waters

Quorum: 3

1. **FILMING AT MEETINGS**

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

2. **APOLOGIES**

3. **URGENT BUSINESS**

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 12 below.

4. **DECLARATIONS OF INTEREST**

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

(i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and

(ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

5. MINUTES (PAGES 1 - 54)

To confirm and sign the minutes of the Planning Sub Committees held on 13 June, 27 June and 11 July.

6. PLANNING APPLICATIONS

In accordance with the Sub Committee's protocol for hearing representations; when the recommendation is to grant planning permission, two objectors may be given up to 6 minutes (divided between them) to make representations. Where the recommendation is to refuse planning permission, the applicant and supporters will be allowed to address the Committee. For items considered previously by the Committee and deferred, where the recommendation is to grant permission, one objector may be given up to 3 minutes to make representations.

7. 37A MARKFIELD ROAD, LONDON N15 4QF (PAGES 55 - 84)

Adaptation of the existing warehouse building (B1/B2/B8 use) to artist recording & work pods (B1), various office sublets (B1), enclosed performance space (Sui Generis) and cafe/bar (A4) with associated amenity spaces and external alterations (amended description)

RECOMMENDATION: grant permission subject to conditions and subject to a S106 Legal Agreement

8. LOCK UP GARAGES CLINE ROAD N11 2NE (PAGES 85 - 126)

Demolition of existing lock-up garages and construction of 9 residential units (comprising 6 x 4 bed town houses, 2 x 2 bed flats, and 1 x 1 bed flat) and 87.9sq metres of commercial floor area with associated access road, parking areas and cycle stores.

RECOMMENDATION: grant permission subject to conditions and subject to a s106 Legal Agreement

9. TOTTENHAM HALE STATION STATION ROAD N17 9LR (PAGES 127 - 132)

Stopping up order to facilitate installation of a row of 6 temporary retail units for A1 and A3 uses which was granted Planning Permission on 10th August 2015 for use until 31 December 2017, plus associated works.

RECOMMENDATION: approve the stopping up order

- 10. UPDATE ON MAJOR PROPOSALS (PAGES 133 - 146)**
To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.
- 11. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 147 - 234)**
To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period from 27 June to 19 August 2016.
- 12. NEW ITEMS OF URGENT BUSINESS**
To consider any items admitted at item 2 above.
- 13. DATE OF NEXT MEETING**
 - 12 September.

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Bernie Ryan
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Thursday, 25 August 2016

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MINUTES OF THE MEETING OF THE PLANNING SUB COMMITTEE HELD ON MONDAY, 13TH JUNE, 2016, 7pm

PRESENT:

Councillors: Natan Doron (Chair), Dhiren Basu, David Beacham, John Bevan, Clive Carter, Toni Mallett, Jennifer Mann, Peter Mitchell and James Patterson

16. FILMING AT MEETINGS

RESOLVED

- That the Chair's announcement regarding the filming of the meeting for live or subsequent broadcast be noted.

17. APOLOGIES

Apologies were received from Cllrs Carroll and Waters.

18. URGENT BUSINESS

The Chair advised of one item of urgent business, an application for the Green, Town Hall Approach Road N15 4RY for the part use of Tottenham Green for Market (Sui Generis). He agreed to accept it under agenda item 14 as a new item of urgent business following consideration of the reasons for lateness outlined in the accompanying cover sheet. He proposed to vary the order of the agenda to take this item before consideration of items 12 (update on major proposals) and 13 (applications determined under delegated powers).

19. MINUTES

RESOLVED

- That the minutes of the Planning Committee held on 14 March be approved.

20. PRE-APPLICATION BRIEFING

The following item, Hawes and Curtis 590-598 Green Lanes, was a pre-application presentation to the Planning Sub-Committee and discussion of proposals related thereto.

Notwithstanding that this was a formal meeting of the Sub-Committee, no decision was taken on this item, and any subsequent application would be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.

21. HAWES AND CURTIS, 590-598 GREEN LANES, N8 0RA

Officers advised of the further development of proposals since the previous pre-application briefing came before the Committee in January including the engagement of a new architect and changes to reflect early comments received including a reduction to the height of the tallest element to 7 storeys.

The Committee raised the following points in discussion of the briefing:

- Clarification was sought on changes made following the second consideration by the Quality Review Panel (QRP). The applicant identified that key changes included a one storey height reduction to the tallest element and design alteration to the parapet fronting Colina Road.
- The relationship between the scheme and the neighbouring Langham Club development site was queried. The applicant advised that although the two sites were separate, self contained developments, the applicants were in liaison. It was intended that the scheme would be built up to the boundary with a fence separating the two sites. Members suggested that it would be useful when the full application came before the Committee to show a 3D representation of the relationship between the two schemes.
- Concerns were raised over the number of single aspect units. The applicant advised this primarily affected the 1 bed units, none of which would be north facing.
- Concerns were raised that the funding commitment for the health centre had been shifted to the Council through the payoff with the affordable housing contribution, particularly at a time of significant budgetary pressure. The applicant advised that the NHS were in the process of applying for funding for the facility and that the s106 agreement would be a fallback mechanism should this funding not come forward and which would be part of any reassessment of the viability of the scheme.
- Assurances were sought that the size and layout of rooms would be London Plan compliant. The applicant advised that 90% homes would be compliant with category 2 (lifetimes home standard) and 10% category 3 (wheelchair accessible standard).
- Further details were sought on landscape planting plans. The applicant advised that detailed plans would be set out within the design and access statement including the intention for street tree planting to Green Lanes, Colina Road and potentially Colina Mews as well as within the site.

The Development Management Forum on this application would be held on 16 June at 7pm.

22. 8 PRISCILLA CLOSE N15 3BF

The Committee considered a report on the application to grant planning permission for the erection of a single storey front extension. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions.

The planning officer gave a short presentation highlighting the key aspects of the report.

A number of objectors addressed the Committee and raised the following points:

- Priscilla Close had been a failed development since it opened in 2000, in breach of planning conditions for the original permission. There were ongoing issues relating to inadequate rubbish collection arrangements, problems with rats and fly tipping, no street cleaning or maintenance of the infrastructure including broken perimeter walls and non operational electric gates. Various efforts by the Council to address these issues over the years had not been successful.
- The Close's Joint Management Company had folded in 2009 and had not been resurrected. The land was now officially designated as abandoned, with no accountability therefore assigned for maintenance. The application should not be granted until the ongoing maintenance issues were addressed and a new management company set up for the Close.
- Planning breaches continued to blight the area and enforcement action was no longer being progressed despite issues not being resolved.
- A modern square extension would be an incongruous addition to a Victorian cottage as well as ruining the integrity and historic nature of the Close through its claustrophobic wedged shaped design. It would also set a precedent for further development harming the existing character of the Close.

Cllrs Blake and Morton addressed the Committee in their role as local ward councillors and raised the following points:

- The local community were leading on a campaign to award Priscilla Close Locally Listed status due to its heritage and architectural significance, and which would be undermined by the application.
- Consideration should have been given to extending the building upwards to avoid the loss of the front garden to the property. The London Plan contained a presumption against development on back gardens or other private residential gardens.
- Approval of the application would set a precedent for future development in the Close.
- The extension would be out of keeping with the Victorian frontage and impact on the coherence of the Close as a whole and detract from its historic nature.
- The applicant was seeking to profit from the land whilst neglecting to ensure sufficient management arrangements were in place for the Close. Although it was acknowledged the issues arising from the failure of the JMC were not material planning considerations, they should be considered as a context to the determination of the application including the character and appearance of the Close itself.
- The property would be left with limited garden space due to the extension as it had no rear garden.

The legal officer to the Committee advised that the issues raised by the objectors and ward councillors regarding the failed management of the land such as fly tipping etc could not be taken into account in the determination of the application as set out within the officer report as they were not material planning considerations.

The Committee raised the following points in response to the representations made:

- Clarification was sought on a reference within the report that assurances had been given to residents of the Close under the original planning permission that no new building would be permitted less than 22m from the existing houses. Officers advised that this related to any new buildings and not the current application for an extension of an existing property.
- It was questioned whether the Council's Conservation Officer had considered the application. Officers advised in response that this had not been required as there were no Listed buildings in the vicinity of the site. The nearby former Coombes Croft fire station building was Locally Listed but wasn't attached to the application. The objectors countered that 8 Priscilla Close was attached to and part of the former fire station as the supervisor's cottage.
- Further information was sought on the garden to the property. The objectors advised that over half of the small front garden to no 8 would be built over by the extension leaving a very small, north facing, dark garden.
- Clarification was sought as to whether any restrictions could be imposed on any further extension to the building in future should the application be granted. Officers advised that applications had to be determined on their merits, although a further extension to the building would not be encouraged in the future as the current application addressed a number of specific issues including improving the quality of the accommodation to a north facing dwelling.

Representatives for the applicant addressed the Committee and raised the following points:

- The applicant had worked closely with planning officers in the development of the plans.
- The majority of objections received were not planning issues.
- The extension would provide a safer, more visible entrance to 8 Priscilla Close, which had previously experienced burglaries and antisocial behaviour.
- The provision of an additional bedroom would not generate a significant amount of additional refuse for the Close although it was recognised the number of bins provided needed to be reviewed as a management issue.
- Measures would be put in place to manage any drainage issues arising from the extension such as a soak away and survey of the existing drainage pipes to identify any problems.
- The property would remain a family dwelling benefiting from private parking and enclosed garden space.
- The applicant was unaware of the management arrangements for the Close.

The Committee sought assurances from the applicant regarding compliance with conditions imposed, particularly due to concerns over the condition of the current boundary treatment. The applicant's representative confirmed that conditions imposed to any permission would be complied with.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2015/3373 be approved subject to conditions.

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

2. The development hereby authorised shall be carried out in accordance with the following approved plans and specifications:

1558.01 Existing Site Plan Rev A
1558.02 Existing Ground Floor Plan Rev A
1558.03 Existing First Floor Plan Rev A
1558.04 Existing Roof Plan Rev A
1558.05 Existing Front Elevation Rev A
1558.06 Existing Sections AA & BB Rev A
1558.07 Proposed Ground Floor Plan Rev A2
1558.08 Proposed First Floor Plan Rev A2
1558.09 Proposed Roof Plan Rev A2
1558.10 Proposed Front Elevation Rev A3
1558.11 Proposed Sections AA & BB Rev A3
1558.12 Proposed East Elevation Rev A2
1558.13 Proposed Site Plan Rev A2

Reason: In order to avoid doubt and in the interests of good planning.

3. Prior to the commencement of the approved development, details of the proposed boundary treatment shall be submitted in writing to the LPA for approval, and thereafter implemented as approved and retained in perpetuity unless agreed in writing by the Local Planning Authority.

Reason: In the interest of the visual amenity of the area and residential amenities of neighbouring occupiers.

4. No development shall take place until full details of soft and hard landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include detailed drawings of the planting. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme in relation to the site itself, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy UD3 of the Haringey Unitary Development Plan 2006.

INFORMATIVE: In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.

INFORMATIVE: Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday
- and not at all on Sundays and Bank Holidays.

INFORMATIVE: Party Wall Act: The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.

INFORMATIVE: The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier. .

INFORMATIVE: With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

INFORMATIVE: Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

23. 109 FORTIS GREEN N2 9HR

The Committee considered a report on the application to grant planning permission for the demolition of existing structures and redevelopment of the site to provide 9 residential units (Use Class C3) comprising 5 x residential flats and 4 mews houses, and 200sqm of flexible retail / office unit (Use Class A1 / A3 / B1) including basement car parking and other associated works. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions and subject to a s106 legal agreement.

The planning officer gave a short presentation highlighting the key aspects of the report.

An objector to the application addressed the Committee and outlined that the scheme would have a detrimental effect on the character and feel of the Fortis Green village area as the scheme would be built up to the boundary and not set back from the pavement inline with surrounding buildings. This would have a negative impact on the sense of space and would set an adverse precedent. The scheme should be set back to the boundary of the existing car wash to reduce the impact of a new 3 storey building and allow for improved pedestrian access.

The Committee raised the following points in discussion of the application:

- Further clarification was sought on the affordable housing review mechanism to be imposed. Officers advised that an independent assessment of the viability assessment had verified that the scheme was unable to support an affordable housing contribution. A review mechanism would however be imposed under the s106 agreement to reassess this position should the scheme not be implemented within 18 months.
- Concerns were raised over the number of cracked paving slabs in the vicinity of the site observed on the site visit and that the £15K transport and highways contribution would be insufficient to cover their refurbishment. Officers advised that plans for this contribution included the revision of two crossovers in the area, reinstatement of kerb height and pathway reconstruction. The £15k contribution reflected only an estimate of projected costs.
- Further information was sought on the commercial workspace and whether the units would be let at an affordable rent. The applicant advised that the units would be flexible B1 retail or restaurant use let at standard market rent. In response to a further question, it was clarified that the space had originally been conceived for a gym but had been subsequently changed to flexible use.

A representative for the applicant addressed the Committee and raised the following points:

- A comprehensive consultation process had been undertaken on proposals for the site and changes made to the design following comments received.
- The scheme would provide good quality family size residential units including amenity space.
- The commercial space would provide flexible retail, restaurant or office floorspace and therefore help to support new jobs. Original proposals for a gym had been revised due to parking concerns.
- The high quality design would enhance the character and appearance of the Conservation Area.
- The Council's transport officers were satisfied with the parking provision and a contribution provided to a CPZ consultation review.
- Overlooking and daylight and sunlight surveys had been undertaken, the results of which were compliant with BRE guidelines.
- With regards to the point raised by the objector regarding the positioning of the scheme against the footpath, it was advised the scheme would reinstate the building line followed by the majority of properties to the southern edge of Fortis Green which were set closer to the pavement edge than the northern edge which were more set back.

The Committee sought clarification from the applicant that the entire frontage to the site would be reinstated as new including the crossovers, cracked pavement etc at the applicant's cost. The agent confirmed that this would be the case as a contribution under the s106 agreement.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2015/3813 be approved subject to conditions and subject to s106 Legal Agreement
1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.
Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.
 2. The development hereby authorised shall be carried out in accordance with the following approved plans and specifications:
E 01, 02, 03, 04, A1 00, 01, 02 Rev A, 03, 04, 05, 06, A2 01, 02, 03, 04, 05, 06, 07, 08 A3 01, B1 01, A4 01, 02, DP 01
 - Design and Access Statement prepared by Chassay + Last Architects dated December 2015
 - Phase 1 and 2 Geo-Environmental Assessment Report prepared by BWB Consultancy dated October 2014
 - Basement Impact Assessment prepared by Symmetrys Limited Consultancy dated December 2015
 - Basement Impact Assessment Appendix D: Structural Calculations prepared by Symmetrys Limited Consulting Structural Engineers dated December 2015
 - Arboricultural Impact Assessment prepared by Landmark Trees dated December 2015
 - Statement of Community Involvement prepared by DP9 December 2015
 - Sustainable Drainage Strategy prepared by Price & Myers dated December 2015
 - Heritage Document prepared by Heritage Collective dated December 2015
 - Sustainability Statement prepared by Price & Myers dated December 2015
 - Transport Statement prepared by Transport Dynamics dated December 2015
 - Energy Strategy Report prepared by Price and Myers dated December 2015
 - Planning Statement prepared by DP9 dated December 2015
 - Daylight, Sunlight & Overshadowing Report prepared by Point 2 Surveyors LLP dated December 2015Reason: In order to avoid doubt and in the interests of good planning.

3. Samples of all materials to be used in conjunction with the proposed development for all the external surfaces of buildings hereby approved, areas of hard landscaping and boundary walls shall be submitted to, and approved in writing by, the Local Planning Authority before any development is commenced. Samples should include type and shade of cladding, window frames and balcony frames, sample panels or brick types and a roofing material sample combined with a schedule of the exact product references. The development shall thereafter be implemented in accordance with the approved samples.
Reason: In order for the Local Planning Authority to retain control over the exact materials to be used for the proposed development and to assess the suitability of the samples submitted in the interests of visual amenity.
4. Details of the proposed boundary treatment shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. The approved boundary treatment shall thereafter be installed prior to occupation of the new residential unit.
Reason: In the interest of the visual amenity of the area and residential amenities of neighbouring occupiers
5. The details of all levels on the site in relation to the surrounding area be submitted and approved by the Local Planning Authority.
Reason: In order to ensure that any works in conjunction with the permission hereby granted respects the height of adjacent properties through suitable levels on the site.
6. No development shall take place until a detailed scheme for the provision of refuse and waste storage and recycling facilities has been submitted to and approved in writing by the Local Planning Authority. Such a scheme as approved shall be implemented and permanently retained thereafter.
Reason: In order to protect the amenities of the locality and to comply with Saved Policy UD7 of the Haringey Unitary Development Plan 2006 and Policy 5.17 of the London Plan 2011.
7. The development shall then be constructed in strict accordance of the details set out in "Energy Strategy Report of 109 Fortis Green", date drafted - 12 April 2016, by Price and Myers. so approved, and shall achieve the agreed carbon reduction of 35% reduction beyond BR 2013. Design aspects includes:

 - o U-values of 0.13 W/m²K on all external walls;
 - o U-values of 1.2 W/m²K on all windows;
 - o U-values of 0.13 W/m²K on the residential roofs;
 - o Air Tightness of 3 m³/m²/h.

- A communal gas heating system has been proposed for the building containing the commercial unit and flats. This will serve all hot water and heating needs. The houses will all be heated with high efficiency gas boilers.

- Solar PV will be installed delivering 6.6kWp of power. This will be through 22no.s High Efficiency panels at an angle of 45 deg, SE facing.

All of this equipment and materials shall be maintained as such thereafter. Confirmation that these have been installed must be submitted to the local

authority upon completion on site for approval and the applicant must allow for site access if required to verify delivery.

Should the agreed target not be able to be achieved on site through energy measures as set out in the afore mentioned strategy, then any shortfall should be offset at the cost of £2,700 per tonne of carbon plus a 10% management fee.

Reason: To comply with London Plan Policy 5.2. and local plan policy SP:04

8. The development shall then be constructed in strict accordance of the details set out in “Energy Strategy Report of 109 Fortis Green”, date drafted - 12 April 2016, by Price and Myers so approved, and shall provide evidence of the following to the local planning authority at least 6 months of completion on site for approval:

- A Site Waste Management Plan (SWMP) including a pre-refurbishment audit to determine how to maximise the recovery of materials from the refurbishment for subsequent high-grade/value applications and demonstration that these have been delivered;
- Contractors will show the site has registered with the Considerate Constructors scheme and followed best practice;
- All concrete, bricks and slate will be BES:6001 certified to ensure responsible sourcing;
- All timber used in construction will be FSC certified.
- The development has included at least two park bays designated EV recharging points.
- The development will include wildlife attracting measures such as bird boxes and log piles.

In the event that the development fails to deliver the required measures, a full schedule and costings of remedial works shall be submitted for our written approval. Thereafter the schedule of remedial works must be implemented on site within 3 months of the local authorities approval of the schedule, or the full costs and management fees given to the Council for offsite remedial actions.

Reasons: In the interest of addressing climate change and to secure sustainable development in accordance with London Plan (2011) polices 5.1, 5.2,5.3 and 5.9 and policy SP:04 of the Local Plan.

9. No development above ground shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These

details shall include: proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (eg. furniture, play equipment, refuse or other storage units, signs, lighting etc.); proposed and existing functional services above and below ground (eg. drainage power, communications cables, pipelines etc. indicating lines, manholes, supports etc.).

Soft landscape works shall include planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; implementation programme.

Such an approved scheme of planting, seeding or turfing comprised in the approved details of landscaping shall be carried out and implemented in strict accordance with the approved details in the first planting and seeding season following the occupation of the building or the completion of development (whichever is sooner). Any trees or plants, either existing or proposed, which, within a period of five years from the completion of the development die, are removed, become damaged or diseased shall be replaced in the next planting season with a similar size and species. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme in relation to the site itself, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy 7.21 of the London Local Plan 2015, Policy SP11 of the Haringey Local Plan 2013 and Policy UD3 of the Haringey Unitary Development Plan 2006.

10. The applicant/developer are required to submit a Construction Management Plan (CMP) and Construction Logistics Plan (CLP) for the local authority's approval 3 months (three months) prior to construction work commencing on site. The Plans should provide details on how construction work (inc. demolition) would be undertaken in a manner that disruption to traffic and pedestrians on Fortis Green Road, Fortis Green Avenue and the roads surrounding the site is minimised. It is also requested that construction vehicle movements should be carefully planned and coordinated to avoid the AM and PM peak periods.

Reason: To minimise the impact of the proposed development to the local highways network during the construction phase of the development.

11. The applicant will be required to provide details of the traffic management scheme to facilitate access to the basement car parking; in addition the applicant will be required to provide details on how access will be controlled to the car park which must be by remote control.

Reason: To provide safe and quick access to the basement car park and to minimise any potential queuing on the public highways.

12. Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.

To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.

- 13 Prior to installation, details of the Ultra Low NOx boilers for space heating and domestic hot water are to be forwarded to the Local Planning Authority. The boilers to be provided for space heating and domestic hot water shall have dry NOx emissions not exceeding 20 mg/kWh.

Reason: To protect local air quality.

- 14 Prior to commencement of the development, details of the CHP must be submitted to evidence that the unit to be installed complies with the emissions standards as set out in the GLA SPG Sustainable Design and Construction for Band B.
Reason: To Comply with Policy 7.14 of the London Plan and the GLA SPG Sustainable Design and Construction.
- 15 No works shall be carried out on the site until a detailed Air Quality and Dust Management Plan (AQDMP), detailing the management of demolition and construction dust, has been submitted and approved by the LPA. The plan shall be in accordance with the GLA SPG Dust and Emissions Control and shall also include a Dust Risk Assessment.
Reason: To Comply with Policy 7.14 of the London Plan
- 17 Before the development hereby permitted is commenced a plan showing a 1.8 metre high privacy screen along the side of the balcony shall be submitted to and approved in writing by the Planning Authority. Development shall be carried out in accordance with the approved details prior to the first use of the BALCONY AREA and the screening shall be retained in perpetuity unless otherwise agreed in writing by the Planning Authority.
Reason: To avoid overlooking into the adjoining properties and to comply with Policy SP11 of the Haringey Local Plan 2013 and Saved Policy UD3 General Principles of the Haringey Unitary Development Plan 2006.
18. Before the first occupation of the development hereby permitted, windows in the proposed south elevation Block B (Houses) and proposed North elevation Block B (houses) shall be fitted with obscured glazing and any part of the window that is less than 1.7 metres above the floor of the room in which it is installed shall be non-opening and fixed shut. The window shall be permanently retained in that condition thereafter.
Reason: To avoid overlooking into the adjoining properties and to comply with Policy SP11 of the Haringey Local Plan 2013 and Saved Policy UD3 General Principles of the Haringey Unitary Development Plan 2006.
19. The proposed development shall have a central dish/aerial system for receiving all broadcasts for all the residential units created, details of such a scheme shall be submitted to and approved by the Local Planning Authority prior to the occupation of the property and the approved scheme shall be implemented and permanently retained thereafter.
Reason: In order to protect the visual amenities of the neighbourhood
20. No development hereby approved in relation to the below elements shall commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved in writing by, the Local Planning Authority in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

- Reason: The development may lead to sewerage flooding, to ensure that sufficient capacity is made available to cope with the new development, and in order to avoid adverse environmental impact upon the community.
- 21 Prior to the implementation of the permission, details of any extract fans or flues shall be submitted to and approved by the Local Planning Authority prior to commencement of use".
Reason: In order to ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties
- 22 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 or any order revoking and re-enacting that Order with or without modification) no extensions or enlargement of the dwellings hereby approved shall be carried out unless a further planning permission has been granted by the Local Planning Authority.
Reason: To safeguard the visual amenities of the area and to prevent overdevelopment of the site by controlling proposed extensions and alterations consistent with Policy 7.4 of the London Plan 2015 and Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

INFORMATIVE: In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.

INFORMATIVE: CIL

Based on the information given on the plans, the Mayoral CIL charge will be £59,145.625 (1,375 sqm x £35 x 1.166) and the Haringey CIL charge will be ££384,051.25 (1,375 sqm x £265). This will be collected by Haringey after/should the scheme is/be implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the construction costs index.

INFORMATIVE: Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday
- and not at all on Sundays and Bank Holidays.

INFORMATIVE : Party Wall Act: The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.

INFORMATIVE: The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.

INFORMATIVE: Prior to demolition or refurbishment of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out

INFORMATIVE: The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier. .

INFORMATIVE: With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

INFORMATIVE: Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

24. 3-5 CHURCH ROAD N6 4QH

The Committee considered a report on the application to grant planning permission for the construction of a new 3rd floor (roof extension) to the existing block of flats to accommodate 2 new one bedroom apartments. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions and subject to a s106 Legal Agreement.

The planning officer gave a short presentation highlighting the key aspects of the report.

A number of objectors addressed the Committee and raised the following points:

- The sound proofing and insulation levels to the block were already poor.
- The construction work would be disruptive to current residents of the block, particularly those living in the current top floor flats, rendering them uninhabitable due to noise and dust and akin to living on a building site. One of the top floor flats

was occupied by two doctors working shifts who would be disturbed by noise from construction works in the daytime.

- The construction of a new staircase extension would impact the ability of residents to access their homes during that phase of works.
- Scaffolding erected during the building works would pose a security risk to residents.
- There was no parking available for construction vehicles, with the road already blocked regularly by vehicles worked on a development scheme to the rear.
- The bin stores would not be of sufficient size to accommodate the additional refuse generated by the new units.
- There was a significant amount of new development ongoing already in the area putting pressure on local services and amenities.
- The current top floor flats would lose the benefits in terms of noise of having no occupants located above them.
- Current residents should be rehoused at the expense of the applicant due to the unacceptable noise and disruption generated by the building works.

The Committee raised the following questions in response to the representations of the objectors:

- Confirmation was sought on plans to restore the front elevation of the building through replacement windows. Officers advised that this was covered under condition 7 with the aim to unify the appearance of the block through the installation of sympathetic replacement windows, plans for which would require Council approval. Officers proposed in order to remove ambiguity to amend the wording to condition 7 to read 'notwithstanding the approved drawings, full details of replacement windows of a common design, proportion, material and means of opening to the front elevation of the **entire** building shall be submitted.'
- In response to a question, the applicant confirmed that a pitched roof design had not been explored.
- Clarification was sought as to whether a condition could be added to restrict hours for the noisiest construction activities in response to concerns regarding noise nuisance to existing residents. Officers advised that the applicant would be required to submit a Construction Management Plan for Council approval. The applicant advised of the difficulty in predicting the level of noise generated until the exact method of construction was determined and from which point consideration would be given to noise mitigation. Officers proposed an amendment to the wording of condition 6 to read 'no development shall take place until **a method of construction** and Construction Management Plan has been submitted.'. Officers would also draft a change to the reasoning underpinning this condition to reflect this change.

A representative for the applicant addressed the Committee and raised the following points:

- In relation to the concerns raised regarding noise disturbance during construction, a full Construction Management Plan would be produced and modern construction methods used such as off site prefabricated elements to speed up and minimise noise where possible.
- A structural engineer had been engaged to assess the plans and deemed the extension acceptable.

- The existing chimney stacks would be retained to avoid the necessity for removal of fireplaces from the block.
- Sufficient bin storage facilities for the block would be located to the backland development to the rear of the site.
- Windows to the front elevation would be replaced with a sympathetic design secured under condition.

The Committee raised the following points in response to the applicant's representation:

- Clarification was sought on the provision of soundproofing measures to the flats that would be directly below the extension. The applicant confirmed that high insulation levels would be provided inline with Building Regulations.
- The Committee questioned whether the applicant could be encouraged to offer financial compensation to existing residents in recognition of the likely noise disturbance from construction works. Officers advised that this was not a material planning consideration and as such could not be imposed under any permission granted. The applicant could elect to do this under a private arrangement however if he wished.

The Chair moved the recommendation of the report including the proposed wording changes to conditions 6 and 7, and it was

RESOLVED

- That planning application HGY/2015/1667 be approved subject to conditions and subject to a s106 legal agreement.

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

2. Notwithstanding the information submitted with the application, the development hereby permitted shall only be built in accordance with the following approved plans: Applicant's drawing No.(s) 755 LY 0X03REV A, 755 LY 0S06, 755 LY 0S07, 755 ES 0X04REV A, 755 ES 0X05, 755 ES 0X06, 755 ES 0X08, 755 ES 0X09 REV A, 755 EX 0S00, 755 EX 0X01, 755 EX 0X02, 755 EX 0X03 REV A, 755 SK 004.

Reason: To avoid doubt and in the interests of good planning.

3. Samples of the materials to be used in conjunction with the proposed development, shall be submitted to and approved in writing by the Local Planning Authority, before any development is commenced. The development shall thereafter be implemented in accordance with the approved samples.

Reason: In order for the Local Planning Authority to retain control over the exact materials to be used for the proposed development and to assess the suitability of the samples submitted in the interests of visual amenity.

4. Notwithstanding the approved drawings and before the occupation of the residential units hereby permitted full details of the enclosures and screening of recycling containers, wheeled refuse bins and/or other refuse storage containers shall be submitted to and approved in writing by the Local Planning Authority and thereafter provided and maintained on site. Details of landscaping to be planted immediately inside the front boundary of the site shall also be included in such measures to screen the appearance of these bins.

Reason: To ensure a satisfactory appearance for the development and to protect the amenities of the area.

5. The proposed development shall have a central dish/aerial system for receiving all broadcasts for all the residential units created, details of such a scheme shall be submitted to and approved by the Local Planning Authority prior to the occupation of the property and the approved scheme shall be implemented and permanently retained thereafter.

Reason: In order to protect the visual amenities of the neighbourhood.

6. No development shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented and retained during the construction period.

Reason: To ensure there are no adverse impacts on the free flow of traffic on local roads and to safeguard the amenities of the area consistent with Policies 6.3, 6.11 and 7.15 of the London Plan Policies SP0 of the Haringey Local Plan 2013 and Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

7. Notwithstanding the approved drawings full details of replacement windows of a common design, proportion, material and means of opening to the front elevation of the building shall be submitted to and approved in writing by the Local Planning Authority and thereafter implemented in accordance with the plans approved before the occupation of the residential units hereby permitted.

Reason: To ensure a satisfactory appearance to the building and to enhance the appearance of the conservation area.

INFORMATIVE: The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 3472) to arrange for the allocation of a suitable address.

INFORMATIVE : Community Infrastructure Levy

The applicant is advised that the proposed development will be liable for the Mayor of London and Haringey CIL. Based on the information given on the plans, the Mayor's CIL charge will be £ 5,419.89 (126 x £35 x inflation factor of 1.229) and the Haringey CIL charge will be £35,193.06 (126 x £165 x inflation factor 1.054). This will be collected by Haringey after the scheme is implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the construction costs index.

INFORMATIVE: Hours of Construction Work

The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

8.00am - 6.00pm Monday to Friday
8.00am - 1.00pm Saturday
and not at all on Sundays and Bank Holidays.

INFORMATIVE: Land Ownership

The applicant is advised that this planning permission does not convey the right to enter onto or build on land not within his ownership.

25. NEW ITEMS OF URGENT BUSINESS

The Committee considered the report admitted at item 3 as an item of urgent business covering the Green Town Hall Approach Road N15 4RY seeking permission for the part use of Tottenham Green for a market (Sui Generis).

The legal officer outlined the reasons for lateness and for consideration before the next ordinary meeting of the Committee. A decision needed to be taken on the application to enable the market to continue operating as permitted development rights would expire prior to the next ordinary meeting on 27 June. The consultation period for the application did not expire until 2 June and as such the application could not have been written up in time for the date of agenda publication for 13 June Committee. If the market needed to cease to operate, there would be corresponding effects on traders, standing down of contractors, interruption to a fledgling operation at a critical time and the removal of a community event.

The planning officer gave a short presentation highlighting the key aspects of the report. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions.

The Committee raised the following points in discussion of the application:

- It was questioned whether the market would have a detrimental effect on a nearby food establishment in which the Council had a financial interest. A representative for the applicant advised that there were no such concerns.
- Assurances were sought over health and safety arrangements for the monitoring of traders using gas cylinder. The applicant advised that traders were required to hold a street trading licence and under this regime would be subject to regular health and safety inspections.
- It was advised that the Friends of Tottenham Green had raised concerns regarding WC provision and recycling arrangements for the market. The applicant advised that Veolia provided the market with two paladin bins on market day, one for recycling and general waste, and which were emptied at the end of the day. In terms of WC access, there were no dedicated facilities for the market but an informal arrangement was currently in place for the use of those in the nearby Bernie Grants Centre.
- In response to a question, the applicant advised that the majority of supporters of the application lived in the proximity of the market.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2016/1304 be approved subject to conditions.
1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.
Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.
 2. The development hereby authorised shall be carried out in accordance with the following approved plans and specifications: Site Location Plan; 223_002; Design and Access Statement
Reason: In order to avoid doubt and in the interests of good planning.
 3. The use hereby permitted shall not be operated before 0900 or after 1700 hours on one weekend day per week and not on any other day.
Reason: This permission is given to facilitate the beneficial use of the site whilst ensuring that the amenities of adjacent residential properties are not diminished.
 4. The number of pitches/stalls shall not exceed 40.
Reason: In order to prevent the overintensive use of the site and the creation of excessive traffic generation.
 5. Within 60 days of the date of decision, the applicant must liaise with Haringey Council's Waste Management Team to establish an agreed waste management plan to enable the appropriate storage of refuse and waste, including provisions for the collection of waste and the cleansing of The Green upon closure of each market day.
Reason: In order to protect the amenities of the locality and to comply with Saved Policy UD7 of the Haringey Unitary Development Plan 2006 and Policy 5.17 of the London Plan 2011.

26. UPDATE ON MAJOR PROPOSALS

The Committee considered an update on major planning proposals in the pipeline.

The Committee raised the following points:

Apex House: concerns were raised that the original architect for the scheme would not be retained to oversee the scheme through to completion with a consequent loss of focus on design quality. Officers in response advised that planning permission had yet to be granted as it was subject to consideration by the Mayor for London. It was explained that the Council could not require retention of the original architect as the

planning and construction phases would be let under separate contracts. However, any alternative architect proposed would require Council approval.

Lawrence Road: concerns were raised over the separate development schemes coming forward and the potential for a lack of overall cohesion in terms of design. Officers advised that the scheme submitted would be returning for further QRP consideration but identified a risk that schemes of a similar design could have a monotonous appearance. The controversies around the schemes such as over the level of parking were recognised and a further development management forum would be held.

A second question was raised regarding Elizabeth Place Park, particularly the boundary treatment and whether any contribution could be sought from the developer for improvements to the Park. Officers agreed to provide feedback on boundary treatment plans to Members and to note the request for contributions for the Park.

The Chocolate Factory: clarification was sought on the details of this scheme and the reason the scheme was within the report twice. Officers advised that the scheme had been included twice within the table in error. The existing historic Chocolate Factory building would be retained, with removal of a number of newer additions in addition to the wider provision of new residential units and commercial space on the site.

163 Tottenham Lane: clarification was provided that two options for the site had been proposed but that the scheme with the proposal for pocket living units was not considered acceptable due to the location of the site.

33 Station Road N22: clarification was sought on the future of the Anglers Public House on site and whether the building was listed. Officers advised that the pub was not Listed or currently Locally Listed although it had been put forward as a suggestion for local listing. Officers were not supportive of the proposed demolition of the pub.

The Committee requested that the chart in future contained the full address and postcode of each application.

RESOLVED

- That the report be noted.

27. APPLICATIONS DETERMINED UNDER DELEGATED POWERS

The Committee considered a report setting out decisions on planning applications taken under delegated powers for the period 25 April to 27 May 2016.

Summersby Road Conservation Area: assurances were sought over restrictions on the provision of uPVC replacement windows and doors. Officers agreed to provide feedback to Cllr Carter.

RESOLVED

- That the report be noted.

28. DATE OF NEXT MEETING

27 June.

CHAIR: Councillor Natan Doron

Signed by Chair

Date

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MINUTES OF THE MEETING OF THE PLANNING SUB COMMITTEE HELD ON MONDAY, 27TH JUNE, 2016, 7pm

PRESENT:

**Councillors: Natan Doron (Chair), Vincent Carroll (Vice-Chair),
Dhiren Basu, David Beacham, Clive Carter, Toni Mallett, Peter Mitchell and
James Patterson**

29. FILMING AT MEETINGS

RESOLVED

- That the Chair's announcement regarding the filming of the meeting for live or subsequent broadcast be noted.

30. APOLOGIES

Apologies for absence were received from Cllrs J. Mann and Waters. Apologies for lateness were submitted by Cllr Bevan.

31. DECLARATIONS OF INTEREST

Cllr Beacham declared a prejudicial interest as a member of the Homes for Haringey Board and therefore identified that he would absent himself from the Committee for the determination of item 7, Broadwater Lodge N17 6NN.

Cllr Mallett identified that she had expressed a prior opinion regarding item 7, Broadwater Lodge N17 6NN and had decided therefore to absent herself from the Committee for the determination of that application.

32. 168 PARK VIEW ROAD, LONDON N17 9BL

The Committee considered a report on an application to grant planning permission for the demolition of existing car repair/servicing garage and construction of a part 2 and part 4 storey building to provide 12 residential units with 7 car parking spaces and ancillary servicing accommodation. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions and subject to a s106 Legal Agreement.

The planning officer gave a short presentation highlighting the key aspects of the report.

The Committee raised the following points in discussion of the application:

- Assurances were sought over the close proximity of the site to the adjacent railway line and how any associated noise and vibration issues would be managed. Officers advised that Network Rail had been consulted and had raised no objections to the application. The applicant confirmed that the scheme complied with Network Rail's guidelines in terms of the distance of the building from the

track and overhead cables. Design measures to reduce any noise impact would include attenuated windows and careful layout plans such as facing units away from the railway line. Any vibration issues would be mitigated through the structural design of the foundations.

- An explanation was sought as to why the scheme exceeded London Plan density guidelines. Officers identified that the current Public Transport Accessibility Level (PTAL) score did not take into account the shorter public right of way access route via Ashley Road. Security improvements to this route under the scheme would increase the PTAL rating to 4 rendering it able to support a slightly higher density scheme.
- Clarification was sought on the final CIL contribution, with a variation in figures provided within the officer report. Officers advised that the calculation set out in section 7 of the report was the correct amount.
- The Committee questioned whether improvements would be made to the subway underpass which had limited headroom and suffered from poor drainage. The transport officer advised that structural changes to the underpass would constitute a significant and challenging engineering project and as such very expensive. Under this application, improvements would be made to both approaches to the underpass and to its drainage. Further improvements were planned to the footpath and underpass within the wider Tottenham regeneration masterplan and which would be coming forward in due time.
- Clarification was sought on allocation of the 5 parking spaces planned onsite. The applicant advised that priority would be given to the wheelchair accessible units followed by the larger family units.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2015/3398 be approved subject to conditions and subject to a s106 Legal Agreement.

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

2. The development hereby authorised shall be carried out in accordance with the following approved plans and specifications:

Reason: In order to avoid doubt and in the interests of good planning.

3. The applicant/ Developer are required to submit a Construction Management Plan (CMP) and Construction Logistics Plan (CLP) for the local authority's approval 1 month (one month) prior to construction work commencing on site. The Plans should provide details on how construction work (inc. Demolition) would be undertaken taken in a manner that disruption to traffic and pedestrians on Lordship Lane and the roads surrounding the site is minimised. The construction management plan must include details on the construction of the development and of the development in a way such that the Councils depot will always have unrestricted access. It is also requested that

construction vehicle movements should be carefully planned and coordinated to avoid the AM and PM peak periods.

Reason: To reduce congestion and mitigate any obstruction to the flow of traffic on the transportation network.

4. Before development commences other than for investigative work:

a) A desktop study shall be carried out which shall include the identification of previous uses, potential contaminants that might be expected, given those uses, and other relevant information. Using this information, a diagrammatical representation (Conceptual Model) for the site of all potential contaminant sources, pathways and receptors shall be produced. The desktop study and Conceptual Model shall be submitted to the Local Planning Authority. If the desktop study and Conceptual Model indicate no risk of harm, development shall not commence until approved in writing by the Local Planning Authority.

b) If the desktop study and Conceptual Model indicate any risk of harm, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. This shall be submitted to, and approved in writing by, the Local Planning Authority prior to that investigation being carried out on site. The investigation must be comprehensive enough to enable:-

" a risk assessment to be undertaken,

" refinement of the Conceptual Model, and

" the development of a Method Statement detailing the remediation requirements.

The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority for written approval.

c) If the risk assessment and refined Conceptual Model indicate any risk of harm, a Method Statement detailing the remediation requirements, using the information obtained from the site investigation, and also detailing any post remedial monitoring shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.

Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority, before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety in accordance with Policy 5.21 of the London Plan 2011 and Saved Policy UD3 of the Haringey Unitary Development Plan.

5. Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority, before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety in accordance with Policy 5.21 of the London Plan 2011 and Saved Policy UD3 of the Haringey Unitary Development Plan.

6. No works shall be carried out on the site until a detailed report, including Risk Assessment, detailing management of demolition and construction dust has been submitted and approved by the LPA with reference to the GLA's SPG Control of Dust and Emissions during Construction and Demolition. All demolition and construction contractors and Companies working on the site must be registered with the Considerate Constructors Scheme. Proof of registration must be sent to the LPA prior to any works being carried out on the site.

7. Prior to installation details of the gas boilers to be provided for space heating and domestic hot water should be forwarded to the Local Planning Authority. The boilers to be provided for space heating and domestic hot water shall have dry Nox emissions not exceeding 20 mg/kWh (0%).

Reason: As required by The London Plan Policy 7.14.

8. No impact piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to impact on local underground sewerage utility infrastructure. The applicant is advised to contact Thames Water Developer Services on 0800 009 3921 to discuss the details of the piling method statement.

9. An approved renewable energy statement shall be submitted prior to commencement of works above ground and the energy provision shall be thereafter retained in perpetuity without the prior approval, in writing, of the Local Planning Authority. The energy statement must demonstrate how the development will be designed to allow for connection to a District Energy network should it come forward in the future.

Reason: To ensure that a proportion of the energy requirement of the development is produced by on-site renewable energy sources to comply with Policy 5.7 of the London Plan 2011 and Policies SP0 and SP4 of the Haringey Local Plan 2013.

10. Details of a scheme for the storage and collection of refuse from the premises shall be submitted to and approved by the Local Planning Authority prior to the commencement of the use. The approved scheme shall be implemented and permanently retained to the satisfaction of the Local Planning Authority.

Reason: In order to protect the amenities of the locality and to comply with Saved Policy UD7 of the Haringey Unitary Development Plan 2006 and Policy 5.17 of the London Plan 2011.

11. No construction works (excluding demolition) shall commence until further details of the design implementation, maintenance and management of the sustainable drainage scheme have been submitted & approved in writing by the Local planning Authority. Details shall include:-

(a) Details of an emergency plan should the pumps fail.

(b) Management and maintenance plan for the lifetime of the development, management by Residents

Management Company or other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime a scheme of surface water drainage works including an appropriate maintenance regime have been submitted to and approved in writing by the Local Planning Authority. The sustainable drainage scheme shall be constructed in accordance with the approved details and thereafter retained.

Reason: To promote a sustainable development consistent with Policies SP0, SP4 and SP6 of the Haringey Local Plan 2013.

12. No development shall take place until a detailed surface water drainage scheme for Site, which is based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development, has been submitted to and approved in writing by the local planning authority. The drainage strategy should demonstrate the surface water run-off generated up to and including the 1 in 100 year plus 30% for climate change critical storm will not exceed the run-off from the undeveloped site following the corresponding rainfall event. The scheme shall include details of its maintenance and management after completion and shall subsequently be implemented in accordance with the approved details before the development on Site is occupied.

Reason: Mechanism for the detailed drainage proposals to be approved as the scheme is developed

13. Completion and Maintenance of Sustainable Drainage - Shown on Approved Plans No building or use hereby permitted shall be occupied or the use commenced until the sustainable drainage scheme for this site has been completed in accordance with the submitted details. The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal and maintained thereafter.

14. No development shall commence until details of a scheme for a "vegetated" or "green" roof(s) for the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority. The details shall include its (their) type, vegetation, location and maintenance schedule. The development shall be implemented in accordance with the approved scheme prior to its first occupation and the vegetated or green roof shall be retained thereafter. No alterations to the approved scheme shall be permitted without the prior written consent of the Local Planning Authority.

Reason: To ensure a sustainable development consistent with Policy 5.11 of the London Plan 2011 and Policies SP0, SP4 and SP11 of the Haringey Local Plan 2013.

15. No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include: proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (eg. furniture, play equipment, refuse or other

storage units, signs, lighting etc.); proposed and existing functional services above and below ground (eg. drainage power, communications cables, pipelines etc. indicating lines, manholes, supports etc.); retained historic landscape features and proposals for restoration, where relevant.

Soft landscape works shall include planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate; implementation programme]. The soft landscaping scheme shall include detailed drawings of:

- a. those existing trees to be retained
- b. those existing trees to be removed.
- c. those existing trees which will require thinning, pruning, pollarding or lopping as a result of this consent. All such work to be approved in writing by the Local Planning Authority.
- d. those new trees and shrubs to be planted together with a schedule of species shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development.

Such an approved scheme of planting, seeding or turfing comprised in the approved details of landscaping shall be carried out and implemented in strict accordance with the approved details in the first planting and seeding season following the occupation of the building or the completion of development (whichever is sooner). Any trees or plants, either existing or proposed, which, within a period of five years from the completion of the development die, are removed, become damaged or diseased shall be replaced in the next planting season with a similar size and species. The landscaping scheme, once implemented, is to be retained thereafter.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme in relation to the site itself, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy 7.21 of the London Local Plan 2011, Policy SP11 of the Haringey Local Plan 2013 and Policy UD3 of the Haringey Unitary Development Plan 2006.

16. Samples of materials to be used for the external surfaces of the development shall be submitted to, and approved in writing by, the Local Planning Authority before any development is commenced. Samples should include sample panels or brick types and a roofing material sample combined with a schedule of the exact product references.

Reason: In order for the Local Planning Authority to retain control over the exact materials to be used for the proposed development and to assess the suitability of the samples submitted in the interests of visual amenity consistent with Policy 7.6 of the London Plan 2015, Policy SP11 of the Haringey Local Plan 2013 and Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

17. Notwithstanding the Provisions of Article 4 (1) and part 25 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 1995, no satellite antenna shall be erected or installed on the building hereby approved. The proposed development shall have a central dish or aerial system for receiving all broadcasts for the residential units created: details of such a scheme shall be submitted to and approved by the Local Planning Authority prior to the occupation of

the property, and the approved scheme shall be implemented and permanently retained thereafter.

Reason: In order to prevent the proliferation of satellite dishes on the development.

INFORMATIVE: In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.

INFORMATIVE: CIL

Based on the information given on the plans, the Mayoral CIL charge will be £22,820 (652 sqm x £35) and the Haringey CIL charge will be £107,580 (652 sqm x £165). This will be collected by Haringey after/should the scheme is/be implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the construction costs index.

INFORMATIVE: Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday
- and not at all on Sundays and Bank Holidays.

INFORMATIVE: Party Wall Act: The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.

INFORMATIVE: The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.

INFORMATIVE: The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.

INFORMATIVE: With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater.

Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

INFORMATIVE: Legal changes under The Water Industry (Scheme for the Adoption of private sewers) Regulations 2011 mean that the sections of pipes you share with your neighbours, or are situated outside of your property boundary which connect to a public sewer are likely to have transferred to Thames Water's ownership. Should your proposed building work fall within 3 metres of these pipes we recommend you contact Thames Water to discuss their status in more detail and to determine if a building over / near to agreement is required. You can contact Thames Water on 0800 009 3921 or for more information please visit our website at www.thameswater.co.uk

INFORMATIVE: A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing wwriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality."

INFORMATIVE: Thames Water will aim to provide customers with a minimum pressure of 10m head (approx. 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

INFORMATIVE: Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.

INFORMATIVES:

Network

Rail

Future maintenance

The development must ensure that any future maintenance can be conducted solely on the applicant's land. The applicant must ensure that any construction and any subsequent maintenance can be carried out to any proposed buildings or structures without adversely affecting the safety of, or encroaching upon Network Rail's adjacent land and air-space, and therefore all/any building should be situated at least 2 metres (3m for overhead lines and third rail) from Network Rail's boundary. The reason for the 2m (3m for overhead lines and third rail) stand off requirement is to allow for construction and future maintenance of a building and without requirement for access to the operational railway environment which may not necessarily be granted or if granted subject to railway site safety requirements and special provisions with all associated railway costs charged to the applicant. Any less than 2m (3m for overhead lines and third rail) and there is a strong possibility that the applicant (and any future resident) will need to utilise Network Rail land and air-space to facilitate works. The applicant / resident would need to receive approval for such works from the Network Rail Asset Protection Engineer, the applicant / resident would need to submit the request at least 20 weeks before any works were due to commence on site and they would be liable for all costs (e.g. all possession costs, all site safety costs, all asset protection presence costs). However, Network Rail is not required to grant permission for any third party access to its land. No structure/building should be built hard-against Network Rail's boundary as in this case there is an even higher probability of access to Network Rail land being required to undertake any construction / maintenance works. Equally any structure/building erected hard against the boundary with Network Rail will impact adversely upon our maintenance teams' ability to maintain our boundary fencing and boundary treatments.

Drainage

No Storm/surface water or effluent should be discharged from the site or operations on the site into Network Rail's property or into Network Rail's culverts or drains except by agreement with Network Rail. Suitable drainage or other works must be provided and maintained by the Developer to prevent surface water flows or run-off onto Network Rail's property. Proper provision must be made to accept and continue drainage discharging from Network Rail's property; full details to be submitted for approval to the Network Rail Asset Protection Engineer. Suitable foul drainage must be provided separate from Network Rail's existing drainage. Soakaways, as a means of storm/surface water disposal must not be constructed near/within 10 – 20 metres of Network Rail's boundary or at any point which could adversely affect the stability of Network Rail's property. After the completion and occupation of the development, any new or exacerbated problems attributable to the new development shall be investigated and remedied at the applicants' expense.

Plant & Materials

All operations, including the use of cranes or other mechanical plant working adjacent to Network Rail's property, must at all times be carried out in a "fail safe" manner such that in the event of mishandling, collapse or failure, no plant or materials are capable of falling within 3.0m of the boundary with Network Rail.

Scaffolding

Any scaffold which is to be constructed within 10 metres of the railway boundary fence must be erected in such a manner that at no time will any poles over-sail the railway and protective netting around such scaffold must be installed. The applicant/applicant's contractor must consider if they can undertake the works and associated scaffold/access for working at height within the footprint of their property boundary.

Piling

Where vibro-compaction/displacement piling plant is to be used in development, details of the use of such machinery and a method statement should be submitted for the approval of the Network Rail's Asset Protection Engineer prior to the commencement of works and the works shall only be carried out in accordance with the approved method statement.

Fencing

In view of the nature of the development, it is essential that the developer provide (at their own expense) and thereafter maintain a substantial, trespass proof fence along the development side of the existing boundary fence, to a minimum height of 1.8 metres. The 1.8m fencing should be adjacent to the railway boundary and the developer/applicant should make provision for its future maintenance and renewal without encroachment upon Network Rail land. Network Rail's existing fencing / wall must not be removed or damaged and at no point either during construction or after works are completed on site should the foundations of the fencing or wall or any embankment therein, be damaged, undermined or compromised in any way. Any vegetation on Network Rail land and within Network Rail's boundary must also not be disturbed. Any fencing installed by the applicant must not prevent Network Rail from maintaining its own fencing/boundary treatment.

Lighting

Any lighting associated with the development (including vehicle lights) must not interfere with the sighting of signalling apparatus and/or train drivers vision on approaching trains. The location and colour of lights must not give rise to the potential for confusion with the signalling arrangements on the railway. The developers should obtain Network Rail's Asset Protection Engineer's approval of their detailed proposals regarding lighting.

Noise and Vibration

The potential for any noise/ vibration impacts caused by the proximity between the proposed development and any existing railway must be assessed in the context of the National Planning Policy Framework which holds relevant national guidance information. The current level of usage may be subject to change at any time without notification including increased frequency of trains, night time train running and heavy freight trains.

Landscaping

Where trees/shrubs are to be planted adjacent to the railway boundary these shrubs should be positioned at a minimum distance greater than their predicted mature height from the boundary. Certain broad leaf deciduous species should not be planted adjacent to the railway boundary as the species will contribute to leaf fall which will

have a detrimental effect on the safety and operation of the railway. We would wish to be involved in the approval of any landscaping scheme adjacent to the railway. Where landscaping is proposed as part of an application adjacent to the railway it will be necessary for details of the landscaping to be known and approved to ensure it does not impact upon the railway infrastructure. Any hedge planted adjacent to Network Rail's boundary fencing for screening purposes should be so placed that when fully grown it does not damage the fencing or provide a means of scaling it. No hedge should prevent Network Rail from maintaining its boundary fencing. Lists of trees that are permitted and those that are not permitted are provided below and these should be added to any tree planting conditions:

Permitted: Birch (*Betula*), Crab Apple (*Malus Sylvestris*), Field Maple (*Acer Campestre*), Bird Cherry (*Prunus Padus*), Wild Pear (*Pyrus Communis*), Fir Trees – Pines (*Pinus*), Hawthorne (*Cretaegus*), Mountain Ash – Whitebeams (*Sorbus*), False Acacia (*Robinia*), Willow Shrubs (Shrubby *Salix*), Thuja Plicatata "Zebrina"

Not Permitted: Alder (*Alnus Glutinosa*), Aspen – Poplar (*Populus*), Beech (*Fagus Sylvatica*), Wild Cherry (*Prunus Avium*), Hornbeam (*Carpinus Betulus*), Small-leaved Lime (*Tilia Cordata*), Oak (*Quercus*), Willows (*Salix Willow*), Sycamore – Norway Maple (*Acer*), Horse Chestnut (*Aesculus Hippocastanum*), Sweet Chestnut (*Castanea Sativa*), London Plane (*Platanus Hispanica*).

Vehicle Incursion

Where a proposal calls for hard standing area / parking of vehicles area near the boundary with the operational railway, Network Rail would recommend the installation of a highways approved vehicle incursion barrier or high kerbs to prevent vehicles accidentally driving or rolling onto the railway or damaging lineside fencing.

AssetProtectionAnglia@networkrail.co.uk prior to any works commencing on site, and also to agree an Asset Protection Agreement with us to enable approval of detailed works. More information can also be obtained from our website at

33. BROADWATER LODGE HIGHAM ROAD N17 6NN

[Cllrs Beacham and Mallett stood down from the Committee for the determination of this item].

The Committee considered a report on the application to grant planning permission for the change of use from Residential Institution (C2) to a Hostel (C1) comprising temporary accommodation for homeless households (50 rooms) for a temporary period of five years. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions.

The planning officer gave a short presentation highlighting the key aspects of the report.

The Committee raised the following points in discussion of the application:

- Clarification was sought on whether improvements were planned to the run down appearance of the gates and railings to the perimeter of the site. A representative for the applicant advised that as the change of use for the site was only sought for a temporary 5 year period, the funding envelope for the project was fairly restricted. Depending on costs, potential improvements to the boundary treatment could be considered under the construction contract.
- In response to a question, it was confirmed that the building was a former residential care home that had been deemed surplus to requirements and as such vacant since 2013.

- Further details were sought on the proposed future occupants of the hostel. Officers advised that the hostel would provide temporary accommodation primarily to homeless Haringey families.

The Committee proposed that an informative be added to encourage the applicant to explore, funding permitting, improvements to the exterior of the site including boundary treatment.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2016/1521 be approved subject to conditions.
1. This permission shall be for a limited period expiring 5 years from the date of this decision when the site should be reinstated to the previous residential care centre use.
Reason: In order to avoid doubt and in the interests of good planning.
 2. Notwithstanding the information submitted with the application, the development hereby permitted shall only be built in accordance with the following approved plans:
FCG-BP-XX-DR-B-1002-S4-PL1, FCG-MB-00-DR-B-2001-S4-PL1, FCG-MB-01-DR-B-2002-S4-PL1, FCG-MB-02-DR-B-2003-S4-PL1, FCG-MB-LG-DR-B-2000-S4-PL1, FCG-ST-XX-DR-B-1001-S4-PL1, FCG-ST-XX-DR-B-1001-S4-PL2, and Planning Statement for Broadwater Lodge received 04/05/16 and FCG-MB-00-DR-B-2006-S2-PL2, FCG-MB-01-DR-B-2007-S2-PL2, and FCG-MB-LG-DR-B-2005-S2-PL2 received 13/06/16
Reason: To avoid doubt and in the interests of good planning.
 3. The development shall not be occupied until a minimum of 2 long term secure and sheltered cycle parking spaces and 1 short term cycle space for users of the development, have been installed. Such spaces shall be retained thereafter for this use only.
Reason: To promote sustainable modes of transport in accordance with Policies 6.1 and 6.9 of the London Plan 2015 and Policy SP7 of the Haringey Local Plan 2013.
 4. The development shall not be occupied until 1 accessible parking space has been provided close to the main entrance of the proposed development for people with disabilities.
Reason: In order to ensure that people with disabilities are not excluded from using the proposed development, pursuant to Policy 6.13 of the London Plan 2015.

INFORMATIVE: In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.

INFORMATIVE:

Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday
- and not at all on Sundays and Bank Holidays.

34. PRE-APPLICATION BRIEFING

The following items were pre-application presentations to the Planning Sub-Committee and discussion of proposals related thereto.

Notwithstanding that this was a formal meeting of the Sub-Committee, no decisions were taken on these items, and any subsequent applications would be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.

35. ASHLEY ROAD SOUTH TOTTENHAM HALE

[Cllrs Beacham and Mallett rejoined the Committee for the remainder of the meeting].

The Chair agreed to vary the order of the pre-application briefings in light of the geographical proximity of the Ashley Road and Station Square schemes.

The planning officer and representatives for the applicant gave short presentations on early plans for the scheme. Officers advised that the application was on an accelerated programme to avoid the uncertainty around 'Starter Homes' which might come into force in September. Initial proposals had been considered by the Quality Review Panel (QRP).

The Committee sought an early steer from the applicant on the likely level of affordable housing contribution to be put forward for the scheme. In response, it was advised that at this early stage an approximate 30% affordable housing units contribution had been estimated across the whole masterplanning area which incorporated parcels of land in different landownership.

RESOLVED

- That the briefing be noted.

36. STATION SQUARE WEST, STATION ROAD, TOTTENHAM HALE N17 9JZ

The planning officer and representatives for the applicant gave short presentations on early plans for the scheme. Officers advised that the application was on an accelerated programme to avoid the uncertainty around 'Starter Homes' which might come into force in September. Initial proposals had been considered by the QRP but feedback was yet to be provided.

The Committee sought clarification on early proposals for the scheme to be 100% Shared Ownership. Representatives for the applicant advised that this position was currently under review as the applicant was working on a portfolio based approach to

affordable housing across all of the applicant's schemes in the area. The aspiration remained however for provision of a high proportional of shared ownership onsite.

In response to a question, the applicant advised that the scheme was proposed to be car free.

RESOLVED

- That the briefing be noted.

37. LAND NORTH OF MONUMENT WAY AND SOUTH OF FAIRBANKS ROAD, N17

The planning officer and representatives for the applicant gave short presentations on early plans for the scheme.

The Committee sought clarification on the width of the proposed green space which would separate the site from Monument Way. The applicant advised that the site was constrained in terms of space through the need to incorporate provision for parking, private gardens etc but that the green space between the pavement on Monument Way and Fairbanks Road would be approximately 3.5m.

RESOLVED

- That the briefing be noted.

38. COPPETTS WOOD HOSPITAL COPPETTS ROAD N10 1JN

The planning officer and representatives for the applicant gave short presentations on early plans for the scheme. Initial plans had been before the QRP to broad support.

The Committee sought clarification on the factors that would determine which of the two options for the site the applicant would bring forward. Representatives for the applicant advised that currently option 1 for the demolition of all buildings on site and total redevelopment was the preferred option.

RESOLVED

- That the briefing be noted.

39. MONO HOUSE, 50-56 LAWRENCE ROAD, N15

The planning officer and representatives for the applicant gave short presentations on early plans for the scheme.

The Committee sought clarification from the applicant on the intended use for the commercial space to be provided onsite and whether demand existed for such units in the area. The applicant advised that initial proposals would result in a reduction in commercial floorspace to the current. The units would be B1 office use, proposed to be offered to SME start ups at affordable rent.

Further details were sought on how the commercial units would be serviced and accessed. The applicant advised that primary access to the commercial units would

be directly onto Lawrence Road, with secondary access also available to the rear. A low level of servicing was however anticipated for the units under office use. Vehicular access would be from the south and via the undercroft.

RESOLVED

- That the briefing be noted.

40. DATE OF NEXT MEETING

11 July.

CHAIR: Councillor Natan Doron

Signed by Chair

Date

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MINUTES OF THE MEETING OF THE PLANNING SUB COMMITTEE HELD ON MONDAY, 11TH JULY, 2016, 7pm

PRESENT:

Councillors: Natan Doron (Chair), Vincent Carroll (Vice-Chair), Dhiren Basu, David Beacham, John Bevan, Clive Carter, Toni Mallett, Jennifer Mann, James Patterson and Ann Waters

1. FILMING AT MEETINGS

RESOLVED

- That the Chair's announcement regarding the filming of the meeting for live or subsequent broadcast be noted.

2. APOLOGIES

Apologies for absence were received from Cllr Mitchell and lateness from Cllr Bevan.

3. DECLARATIONS OF INTEREST

Cllr Patterson identified in relation to item 7, Alexandra Palace, that he was a member of the Alexandra Palace and Park Advisory Committee.

Cllr J Mann identified in relation to item 8, Gisburn Mansions, that she and her fellow Hornsey ward councillors had attended a meeting with the applicant in 2015 to discuss their proposals for the site.

4. MINUTES

RESOLVED

- That the minutes of the Planning Committee held on 9 May be approved.

5. ALEXANDRA PALACE ALEXANDRA PALACE WAY N22 7AY

[19.30: Cllr Bevan entered the meeting late and as such did not take part in the determination of this item].

The Committee considered a report on the application to grant planning permission and Listed Building consent for alterations to the north west corner of the existing building 'West Yard Site' including reinstatement of existing arches, refurbishment of north west tower, construction of two storey building within the west wing, creation of two new openings in east elevation, creation of new function room at 5th level, and installation of new gates and hard surfacing. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and

responses, analysis, equalities and human rights implications and recommended to grant planning permission and Listed Building consent subject to conditions.

The planning officer gave a short presentation highlighting the key aspects of the report.

An objector addressed the Committee and outlined the following points:

- It was recognised that the applicant had made positive changes to the original plans following concerns raised including the provision of obscured glazing to the new windows and omitting the proposed roof terrace.
- Nearby residents remained concerned over the potential for noise pollution associated with the use of the new function room, particularly if the new windows were openable.
- The application would result in increased vehicular movements from the north service yard causing additional noise disturbance to residents on the roads adjacent to the site.
- Concerns were expressed over the change of use sought for this part of the Palace considering it was the only location backing onto a residential area and as such was not the most appropriate location for a function room which could cause noise problems to nearby properties, particularly on Dukes Avenue.

The Committee raised the following points following consideration of the objector's representation:

- Clarification was sought from officers as to whether potential noise nuisance arising from the operation of the function room was a planning issue. In response it was advised that officers had taken this issue into account when assessing the application but considered it acceptable taking into account the distance of the site to the closest neighbouring garden of 40m and the closest rear facing habitable windows on Dukes Avenue at 55-60m. Additional safeguards in terms of noise nuisance would also apply under the licensing legislative regime for any functions requiring a licence.
- Further details were sought on proposed glazing to the new window openings created. It was advised that the applicant had yet to confirm but the Conservation Officer outlined her view that the use of triple glazing would not be acceptable as the bulk of the frame would detract from the attractive northern wall. More slimline secondary glazing would likely be acceptable.

A representative for the applicant addressed the Committee and raised the following points:

- The concerns expressed by neighbouring residents had been taken seriously, with changes made to the plans following the feedback received.
- The application was broadly inline with the Palace masterplan and which did not have planning status.
- The primary purpose of the application was for a storage building and to secure the structural integrity of the north wall of the Palace.
- Further professional advice would be sought regarding the future management of the kestrels nesting onsite.

- The concerns raised by the objector regarding potential noise nuisance from the operation of the function room and the glazing options for the new windows would be reported back to the Palace Trustees.

Clarification was sought on the cost of the application, why the project had not been incorporated within the larger Heritage Lottery project and whether a cheaper alternative storage solution had been considered. The applicant advised that £1.9m of the £2.5m cost of the project would be for the permanent structural support of the north wall. The storage provided was needed to hold event infrastructure including over 3k chairs. Alternative options had been considered but off site provision would be more costly and other locations within the Palace would not provide sufficient space.

The Chair proposed the addition of an informative for the applicant to review the proposed glazing to the function room windows in consultation with the Council's Conservation Officer.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2016/1574 be approved subject to conditions

TIME LIMIT

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

IN ACCORDANCE WITH THE APPROVED PLANS

2. The development hereby authorised shall be carried out in accordance with the plans and specifications submitted to, and approved in writing by the Local Planning Authority.

Reason: In order to avoid doubt and in the interests of good planning.

TRAVEL PLAN

3. Prior to the occupation of each aspect of the development the applicant shall submit a Travel Plan for each aspect and appoint a travel plan co-coordinator for the development and must work in collaboration with the Facility Management Team to monitor the travel plan initiatives annually.

The travel plan must include:

- a) Provision of welcome induction packs for staff containing public transport and cycling/walking information like available bus/rail/tube services, map and time-tables to all staff, travel pack to be approved by the Councils transportation planning team.
- b) Cycle parking in line with the London Plan and a review cycle parking provision annually and a commitment to provide additional cycle parking facilities if required.
- c) A cycle strategy to promote cycle to and from the site
- d) Public transport information with ticketing (electronic or paper) where possible and on the website.

Reason: To minimise the traffic impact generated by this development on the adjoining roads, and to promote travel by sustainable modes of transport.

EVENT MANAGEMENT PLAN

4. Prior to the occupation of each aspect of the proposed development the applicant shall provide an event management plan/ local area management plan which includes the following information:

- a) Crowd management and dispersal including Stewarding
- b) Car park management plan
- c) Signage strategy to local transport interchange
- d) Shuttle bus strategy for local transport interchanges (Wood Green, Archways Station and possible Finsbury Park)
- e) Coach drop off and collection
- f) Parking controls on Alexandra Place Way
- g) Taxi collection strategy

Reason: To minimise the traffic impact generated by this development on the adjoining roads, and to promote travel by sustainable modes of transport.

CONSTRUCTION MANAGEMENT PLAN

5. The applicant is required to submit a Construction Management Plan (CMP) and Construction Logistics Plan (CLP) for the local authority's approval 3 months (three months) prior to construction work commencing on site. The Plans should provide details on how construction work (inc. demolition) would be undertaken in a manner that disruption to traffic and pedestrians on Alexandra Palace Way and the roads surrounding the site is minimised. Construction vehicle movements shall be carefully planned and co-ordinated to avoid the AM and PM peak periods, the plans must also include measures to safeguard and maintain the operation of the local highway network including the east car park.

Reason: To reduce congestion and mitigate any obstruction to the flow of traffic.

SERVICE AND DELIVERY PLAN

6. Prior to the occupation of each aspect of the proposed development the applicant is required to submit a service and delivery plan (DSP)

Reason: To reduce congestion and mitigate any obstruction to the flow of traffic.

LOCAL EMPLOYMENT

7. APPCT shall commit a named individual to participate in the Jobs for Haringey Initiative by working in partnership with the Assigned Officer to meet the requirements of the Jobs for Haringey Initiative during the implementation of the Development comprising:

- (i) using best endeavours for the procurement of not less than 20% of the onsite workforce employed during the construction of the Development to comprise of residents of the administrative area of the Council;
- (ii) in the event that the target set in (i) above is impractical for reasons notified to the Assigned Officer then a discussion to resolve this will take place at the very earliest opportunity and an alternative target will be set;
- (iii) using best endeavours for the procurement of half of the 20% referred to in (i) above to be undertaking training;
- (iv) in the event that the target set in (iii) above is impractical for reasons notified to the Assigned Officer then a discussion to resolve this will take place at the very earliest opportunity and an alternative target will be set;
- (v) to liaise with the Assigned Officer to help local suppliers and businesses to tender for such works as may be appropriate for them to undertake;
- (vi) to provide the Assigned Officer with any such information as is required to ensure compliance with these requirements.

APPCT shall work with the Council and the Haringey Employment and Recruitment Partnership to ensure that employment and training opportunities including jobs and apprenticeships arising from the Development post Implementation will be available to residents of the administrative area of the Council.

APPCT shall will designate a named contact to liaise with the Haringey Employment and Recruitment Partnership's lead contact to ensure efficient management and supply of local Council residents for employment and training opportunities post Implementation of the Development and the Haringey Employment and Recruitment Partnership will provide and prepare said Council residents for all employment and training opportunities and will be the sole conduit for any recruitment assessment screening testing and application support arrangements.

Reason: In order to ensure that the scheme provides employment opportunities within the Borough and for the local community.

ENERGY STATEMENT

8. Prior to the commencement of construction works the applicant shall provide a further energy statement in order to demonstrate that carbon savings have been maximised, taking account of the limitations of the building, in line with London Plan Policy 5.4 The development hereby permitted shall be built in accordance with the approved energy statement and the energy provision shall be thereafter retained in perpetuity without the prior approval, in writing, of the Local Planning Authority.

Reason: To ensure that a proportion of the energy requirement of the development is produced by on-site renewable energy sources to comply with Policy 5.4 of the London Plan 2011 and Policies SP0 and SP4 of the Haringey Local Plan 2013.

CONSIDERATE CONSTRUCTORS

9. No development shall be carried out until such time as the person carrying out the work is a member of the Considerate Constructors Scheme and its code of practice, and the details of the membership and contact details are clearly displayed on the site so that they can be easily read by members of the public.

Reason: In the interests of residential amenity.

ECOLOGY

10. The works shall be carried out in accordance with the recommendations set out in the Ecological Appraisal.

Reason: To ensure that the development will make a positive contribution to the protection, enhancement, creation and management of biodiversity and protect and enhance the surrounding Site of Importance for Nature Conservation (SINCs) in accordance with London Plan Policies Policy 7.19 and Local Plan Policy SP13.

SECURED BY DESIGN

11. The development hereby approved shall achieve a Secured by Design accreditation. The BBC Studios and Theatre shall not be occupied until an accreditation has been achieved.

Reasons: in the interest of public safety and to comply with Local Plan (2013) Policy SP11.

TREE PROTECTION

12. Prior to the commencement of any development hereby approved and before any equipment, machinery or materials are brought onto the site for the purposes of the development hereby approved, the measures set out in the Tree Protection method statement incorporating a solid barrier protecting the stem of the trees and hand dug excavations shall be implemented and the protection shall be maintained until all equipment, machinery and surplus materials have been removed from the site.

Reason: In order to ensure the safety and well being of the trees adjacent to the site during constructional works that are to remain after works are completed consistent with Policy 7.21 of the London Plan, Policy SP11 of the Haringey Local Plan 2013 and Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

HARD LANDSCAPING

13. No development shall take place until full details of both hard (and any remedial soft landscape works) have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include: proposed finished levels or contours; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (e.g. furniture, play equipment, refuse or other storage units, signs, lighting etc.); proposed and existing functional services above and below ground (e.g. drainage power, communications cables, pipelines etc. indicating lines, manholes, supports etc.); retained historic landscape features and proposals for restoration, where relevant.

Reason: In order for the Local Planning Authority to assess the acceptability of any landscaping scheme in relation to the site itself, thereby ensuring a satisfactory setting for the proposed development in the interests of the visual amenity of the area consistent with Policy 7.21 of the London Local Plan 2011, Policy SP11 of the Haringey Local Plan 2013 and Policy UD3 of the Haringey Unitary Development Plan 2006.

MANAGEMENT & CONTROL OF DUST

14. No works shall be carried out on the site until a detailed report, including Risk Assessment, detailing management of demolition and construction dust has been

submitted and approved by the LPA with reference to the GLA's SPG Control of Dust and Emissions during Construction and Demolition. All demolition and construction contractors and Companies working on the site must be registered with the Considerate Constructors Scheme. Proof of registration must be sent to the LPA prior to any works being carried out on the site.

Reason: As required by London Plan Policy 7.4

INFORMATIVE: All tree works shall be undertaken by a qualified and experienced tree surgery company and to BS 3998:2010 Tree work - Recommendations.

INFORMATIVE: The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier. Please note that it is the Brigade's policy to regularly advise their elected Members about how many cases there have been where they have recommended sprinklers and what the outcomes of those recommendations were.

INFORMATIVE: Hours of Construction Work The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:- 8.00am - 6.00pm Monday to Friday 8.00am - 1.00pm Saturday and not at all on Sundays and Bank Holidays.

INFORMATIVE: In dealing with this application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our development plan comprising the London Plan 2011, the Haringey Local Plan 2013 and the saved policies of the Haringey Unitary Development Plan 2006 along with relevant SPD/SPG documents, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant during the consideration of the application.

RESOLVED

- That Listed Building consent application HGY/2016/1575 be approved subject to conditions:

TIME LIMIT

1. The works hereby permitted shall be begun not later than 3 years from the date of this consent.

Reason: To accord with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

IN ACCORDANCE WITH THE APPROVED PLANS

2. The development hereby authorised shall be carried out in accordance with the following approved plans and specifications:

Reason: In order to avoid doubt and in the interests of good planning.

WORKS TO MATCH EXISTING

3. All works should be made good to match the existing fabric in colour, material and texture. If works cause any un-intentional harm to the existing fabric, this should be repaired or replicated to match existing.

Reason: In order to safeguard the special architectural or historic interest of the building consistent with Policy 7.8 of the London Plan 2011, Policy SP12 of the Haringey Local Plan 2013 and Policies CSV2, CSV3, CSV4 and CVS6 of the Haringey Unitary Development Plan 2006.

HIDDEN FEATURES

4. Any hidden historic features (internal or external) which are revealed during the course of works shall be retained in situ, work suspended in the relevant area of the building and the Council as local planning authority notified immediately. Provision shall be made for the retention and/or proper recording, as required by the Local Planning Authority.

Reason: In order to safeguard the special architectural or historic interest of the building consistent with Policy 7.8 of the London Plan 2011, Policy SP12 of the Haringey Local Plan 2013 and Policies CSV2, CSV3, CSV4 and CVS6 of the Haringey Unitary Development Plan 2006.

UNBLOCKING WORK

5. Notwithstanding the approved drawings all the unblocking work shall be undertaken carefully with sensitivity to remaining historic fabric. All works to be made good in suitable breathable materials following the completion.

Reason: In order to safeguard the special architectural or historic interest of the building consistent with Policy 7.8 of the London Plan 2011, Policy SP12 of the Haringey Local Plan 2013 and Policies CSV2, CSV3, CSV4 and CVS6 of the Haringey Unitary Development Plan 2006.

FURTHER DESIGN DETAILS

6. Notwithstanding the approved drawings, further details, 1:20 (or as appropriate) scale drawings, schedule of works and methodology statement (as appropriate) should be submitted for further approval in respect of the following, prior to the specific works commencing on site:

1. The glass link (drawings at a scale 1:20);
2. The opening up works to the tower and its refurbishment for the new uses;
3. Works required to stabilise the North wall;
4. Materials in relation to the new building including samples where necessary;
5. Fenestration details at 1:10 scale for the Tower, the North Wall (blocked up windows that are being opened) and the new building.

Reason: In order to safeguard the special architectural or historic interest of the building consistent with Policy 7.8 of the London Plan 2011, Policy SP12 of the Haringey Local Plan 2013 and Policies CSV2, CSV3, CSV4 and CVS6 of the Haringey Unitary Development Plan 2006.

6. GISBURN MANSIONS TOTTENHAM LANE N8 7EB

The Committee considered a report on the application to grant planning permission for the erection of new third storey and new roof to provide 12 two bedroom flats. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions and subject to a s106 Legal Agreement.

The planning officer gave a short presentation highlighting the key aspects of the report. An amendment was advised to the wording of conditions 3, 5 and 7 to ensure they were robust and enforceable and in accordance with the approved plans.

A number of objectors addressed the Committee and raised the following points:

- Current residents were entitled to quiet enjoyment of their properties and which also needed to be fit for habitation
- The construction works would generate significant dust and noise nuisance and result in loss of privacy for current residents over a significant period of time. The quality of life of the current top floor residents would particularly be impacted
- The 5% rent reduction offered by the applicant as landlord to existing residents to compensate for disruption from the works was inadequate
- There were existing maintenance issues with the building including damp and mould which hadn't been addressed by the applicant
- The new units would not be affordable family housing
- There were already a number of new housing developments being constructed in the area
- Long running issues with the existing refuse arrangements for the development would be exacerbated by 12 additional flats
- Concerns were expressed over the removal of the roof and the impact on TV aerials and chimneys for the dual fuel burners provided in a number of existing flats
- The construction timeframe was unrealistic taking into account the poor condition of the building
- The provision of 3 new parking bays was insufficient to serve the additional demand from the new flats and residents would circumvent the car free designation despite being located in a CPZ. This would also result in increased traffic on a one way road
- The objections made by the Conservation Officer to the application had not been addressed
- Sunlight and daylight surveys identified that one of the windows to 2 Gisburn Road would not comply with BRE guidelines in relation to daylight. In total, 12 windows to the property would be adversely impacted by the development, infringing on the resident's right to light. It was commented that a survey commissioned by the applicant was unlikely to be impartial.

The Committee raised the following points in discussion of the objector's representations:

- Assurances were sought on the concerns raised over increased car parking demand from the new flats. Transport officers outlined that parking would not be

available onsite and new residents would not be eligible for parking permits. Census figures demonstrated low car ownership levels in the area and the site had high accessibility to public transport. Cycle parking and access to car club membership would be secured under condition. There were two car club bays located in close proximity.

- The Committee suggested to the objectors that current tenants should negotiate further with the applicant over the proposed 5% rent reduction to compensate for disturbance caused by construction works.
- Assurances were sought over the daylight and sunlight surveys undertaken. Officers advised that the survey results were considered acceptable, with only one window having a marginal shortfall against BRE guidelines for daylight but which would not be noticeable. It was advised that any right to light claims were separate to the planning system and not a material planning consideration.
- Further clarification was sought of the Conservation Officer's view of the scheme. In response, she outlined that the scheme was not satisfactory from a conservation perspective due to the impact on the architectural integrity of the building, the disproportionate level of development and impact on the setting and views of the nearby Hornsey High St Conservation Area. However, as the site was not within the Conservation Area, the harm was considered less than substantial. In an additional response, the applicant identified that the building was not a heritage asset, would only be extended to three storeys and the main masonry features of the existing building would be preserved including gables and chimneys.
- In response to questions regarding the design, the applicant advised that the exterior finish to the third floor would be grey composite panels and that no lifts were currently within the building or planned for installation.

A representative for the applicant addressed the Committee and raised the following points:

- Extensive pre and post application discussions had been held with officers and local residents, with changes made as a result of comments received
- The site was not located in a Conservation Area. The application would not cause substantial harm and would have public benefits including the provision of new housing units available for rent and an affordable housing contribution
- A sunlight and daylight survey had been undertaken in accordance with BRE guideline and illustrated overall compliance with the exception of a slight shortfall to one window
- Improvements would be made to the building during the works including to the communal staircase and gardens, underpinning and cycle storage
- The development would be designated car free as it was located in an area of high public transport accessibility
- Scaffolding on site would be alarmed and a supervisor living on site during the course of the construction works.
- Wherever possible, disturbance from construction would be minimised through the use of light weight materials and prefab offsite construction
- The current aerial system and chimneys would be retained
- A sound proof floor would be provided to the new units.

The Committee raised the following points in discussion of the application:

- Further information was sought on the shortfall of amenity space to the new units against London Plan standards. In response, it was advised that this was acceptable as a minor shortfall, with the majority of units complying and in consideration of access to the improved communal gardens to the rear.
- Clarification was sought on the consultation undertaken with local residents. The applicant advised that a range of events had been held at which a number of issues had been raised including refuse arrangements and noise and disturbance from the construction process.
- In response to concerns raised regarding refuse arrangements on site, the applicant advised that Council approval of plans for refuse and waste storage onsite would be secured under condition.
- Concern was raised that the application constituted overdevelopment. The applicant advised that the plans had been developed in consultation with officers and although the number of new flats had been maximised, the density remained within London Plan guidelines.

Cllr Bevan put forward a motion to reject the application on the grounds of layout, appearance, impact on the character of the adjacent Conservation Area, harm to the character and appearance of the setting and cumulative impact of the two storey extension on the building and the surrounding area. The motion was seconded by Cllrs Carter and Patterson. At a vote, it was

RESOLVED

- That planning application HGY/2015/1273 be rejected on the grounds of layout, appearance, impact on the character of the adjacent Conservation Area, harm to the character and appearance of the setting and cumulative impact of the two storey extension on the building and the surrounding area.

7. LAND AT HARINGEY HEARTLANDS, BETWEEN HORNSEY PARK ROAD, COBURG ROAD, CLARENDON ROAD AND THE KINGS CROSS / EAST COAST MAINLINE, LONDON N8

The Committee considered a report on the application to grant reserved matters approval a)scale; b)layout; c)landscaping; and d)appearance, pursuant to Outline Planning Permission ref. HGY/2009/0503 (EIA Development) (as varied by refs. HGY/2013/2455 and HGY/2016/0026), comprising a total of 1056 residential homes; 2,500sqm (GEA) of commercial floorspace uses (A1-A4/ B1/D1); 225 car parking spaces and car club facility; new pedestrian routes; new Pressure Reduction Station (PRS); and landscaping throughout the site including: a tree lined boulevard down Mary Neuner Road; a 'Pocket Park' off Hornsey Park Road; a public Garden Square; a private residential courtyard garden; and ecological gardens. The report set out details of the proposal, the site and surroundings, planning history, relevant planning policy, consultation and responses, analysis, equalities and human rights implications and recommended to grant permission subject to conditions.

The planning officer gave a short presentation highlighting the key aspects of the report. It was explained that the layout of the development and the form of the main elements had been set with the granting of the outline planning permission by the Committee in March 2012. As such, the Committee were limited in terms of the

changes that could be made to the scheme under the current reserved matters application. It was further advised that the majority of the comments made by the Quality Review Panel related to elements of the scheme that had been fixed under approval of the outline planning application.

The Committee raised the following points in discussion of the application:

- Concerns were raised over the long corridors within the residential blocks and the number of single aspect flats. Officers identified that these were a design consequence of the perimeter plans for the scheme set under the outline planning approval.
- Clarification was sought on the lack of provision of a separate kitchen to the three bed units. Officers advised that this also arose from design constraints from the building perimeter. The affordable housing provision predominantly consisted of the larger units and as such any layout changes to include a separate kitchen would result in a reduction in the number of units.
- Concern was raised over the level of affordable housing to be achieved. Officers advised that the 14-24% level had been approved under the outline permission and could not be revisited.
- Clarification was sought on local employment opportunities linked to construction of the scheme. Officers advised that a local employment target had not been imposed under the original permission but that a £200k contribution to skills and training for local people would be secured.
- Clarification was sought from the applicant on the timescales for completion of the scheme and the phasing of delivery of the affordable housing units. In response it was advised that first occupation was expected at the end of 2019 with completion by 2026. Affordable housing units would be located to both sides of the scheme, with those to the southern end to be delivered in late 2019/20.
- Concerns were raised that the level of parking proposed would be insufficient. Transport officers advised that they were satisfied with the 225 spaces proposed, a typical level for a London scheme benefiting from high public transport accessibility. Access to a car club would also be secured under condition. Spaces would be located to the undercroft and hidden from view.
- It was commented that the scheme offered a unique opportunity to address environmental issues through an innovative landscaping plan such as encouraging wildlife diversity, improving drainage, reducing pollution, providing quality amenity space etc. The applicant advised that initial plans included the planting of a boulevard of lime trees to Mary Neuner Road and establishment of an ecological corridor. A pocket park consultation event was planned with the local community in the summer to allow input into the landscaping plans. The Chair asked that an informative be added for the applicant to consult with the RSPB, London Wildlife Trust, Groundworks and the Woodland Trust regarding the development of the landscaping plan.

The Chair moved the recommendation of the report and it was

RESOLVED

- That planning application HGY/2016/1661 be approved subject to conditions.

1. The development hereby authorised must be begun not later than the expiration of 2 years from the date of this permission, failing which the permission shall be of no effect.
Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

2. The approved plans and specifications comprise:
12511-SPR-00-00-3-1; 12511-SPR-05-00-3-3; 12511-SPR-05-01-3-3; 12511-SPR-05-02-3-3; 12511-SPR-05-03-3-3; 12511-SPR-05-04-3-3; 12511-SPR-05-05-3-4; 12511-SPR-05-06-3-2; 12511-SPR-15-00-3-2; 12511-SPR-20-01-3-3; 12511-SPR-20-02-3-3; 12511-SPR-20-03-3-1; 12511-SPR-20-04-3-2; 12511-SPR-20-05-3-1; 12511-SPR-20-06-3-1; 12511-SPR-20-07-3-1; 12511-SPR-20-08-3-1; 12511-SPR-20-09-3-2; 12511-SPR-B1-2-15-00-3-3; 12511-SPR-B1-2-15-01-3-3; 12511-SPR-B1-2-15-02-3-3; 12511-SPR-B1-2-15-03-3-3; 12511-SPR-B1-2-30-01-3-2; 12511-SPR-B1-2-30-02-3-3; 12511-SPR-B3-4-15-00-3-2; 12511-SPR-B3-4-15-01-3-2; 12511-SPR-B3-4-15-02-3-2; 12511-SPR-B3-4-15-03-3-2; 12511-SPR-B3-4-30-01-3-2; 12511-SPR-B3-4-30-02-3-2; 12511-SPR-B7-15-00-3-3; 12511-SPR-B7-15-01-3-3; 12511-SPR-B7-30-01-3-3; 12511-SPR-B7-30-02-3-3; 12511-SPR-B8-9-15-00-3-3; 12511-SPR-B8-9-15-01-3-3; 12511-SPR-B8-9-15-02-3-3; 12511-SPR-B8-9-15-03-3-3; 12511-SPR-B8-9-15-04-3-3; 12511-SPR-B8-9-15-05-3-3; 12511-SPR-B8-9-30-01-3-2; 12511-SPR-B8-9-30-02-3-3; 12511-SPR-B8-9-30-03-3-3; 12511-SPR-B11-13-15-00-3-3; 12511-SPR-B11-13-15-01-3-3; 12511-SPR-B11-13-15-02-3-3; 12511-SPR-B11-13-15-03-3-3; 12511-SPR-B11-13-30-01-3-2; 12511-SPR-B11-13-30-02-3-2; 12511-SPR-B12-15-00-3-3; 12511-SPR-B12-15-01-3-3; 12511-SPR-B12-30-01-3-3; 12511-SPR-B12-30-02-3-2; 12511-SPR-GC-15-00-3-1; 12511-SPR-GC-30-01-3-1; Schedule of Accommodation (27/05/2016); Design Commentary (Draft Rev.3-5 – 31/05/2016); Landscape Strategy (Rev F – 29/04/16); Planning Statement (Q60542 – May 2016); London Housing Design Guide Statement of Conformity (01/06/2016); Report on Daylight and Sunlight and Appendices (AC/DW/ROL7465 – 27/05/2016); Statement of Community Involvement (May 2016)
The development shall be completed in accordance with the approved plans except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.
Reason: In order to avoid doubt and in the interests of good planning.

3. Prior to the occupation of each phase of the development hereby approved, confirmation that the phase of the development complies with the requirements of Secured by Design, shall be submitted to, and approved in writing by the Local Planning Authority.
Reason: To ensure that the proposed development meets the Police standards for the physical protection of the buildings and their occupants.

4. The developer will be required to enter into a Section 72 agreement to dedicate a 3m strip of land along Mary Neuner Road and a Section 278 agreement for the implementation of the realigned carriageway works and inset parking bays.

This agreement shall be entered into prior to the commencement of above ground works of the relevant phase(s) including these works.

Reason: To ensure safe and efficient vehicle access, and to secure the implementation of the highways works, enabling access to the development proposal.

INFORMATIVE: Hours of Construction Work:

The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday
- and not at all on Sundays and Bank Holidays.

INFORMATIVE: The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.

INFORMATIVE: There are public sewers crossing or close to your development. In order to protect public sewers and to ensure that Thames Water can gain access to those sewers for future repair and maintenance, approval should be sought from Thames Water where the erection of a building or an extension to a building or underpinning work would be over the line of, or would come within 3 metres of, a public sewer. Thames Water will usually refuse such approval in respect of the construction of new buildings, but approval may be granted for extensions to existing buildings. The applicant is advised to visit www.thameswater.co.uk/buildover.

INFORMATIVE: A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing wwqriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality.

INFORMATIVE: Thames Water would recommend that petrol/oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol/oil interceptors could result in oil-polluted discharges entering local watercourses.

INFORMATIVE: With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from

Thames Water Developer Services will be required to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system. They can be contacted on 0800 009 3921.

INFORMATIVE: Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

INFORMATIVE: There are large water mains adjacent to the proposed development. Thames Water will not allow any building within 5 metres of them and will require 24 hours access for maintenance purposes. Please contact Thames Water Developer Services, Contact Centre on Telephone No: 0800 009 3921 for further information.

INFORMATIVE: There is a Thames Water main crossing the development site which may/will need to be diverted at the Developer's cost, or necessitate amendments to the proposed development design so that the aforementioned main can be retained. Unrestricted access must be available at all times for maintenance and repair. Please contact Thames Water Developer Services, Contact Centre on Telephone No: 0800 009 3921 for further information.

INFORMATIVE: The discharge of condition application for the landscaping condition on the outline application should include:

- For the Landscaping beds in public realm (on street and square), to include planting to beds and maintenance that ensure the lush and varied vegetation shown in the proposals can be achieved and boundary treatments to all planting beds to show robust and effective means of separation from roadways and paths, such as a dwarf wall or fence of suitable and complimentary design.
- For the Pocket Park & Residents' Garden, to include:
 - how it is a direct, well lit, clear and safe route that allows visibility right through from Hornsey Park Road through to the Spine Road (Mary Neuner Way);
 - how the different programmes, layout planting, management and uses create a distinction in character between the two spaces;
 - details of the boundary between the two spaces, including gateway(s) and thresholds between the two;
 - details of path treatment that distinguish in appearance and durability between the heavily used "primary" footpath / cyclepath, main secondary paths (particularly those to the south of the Residents' Garden, tertiary circumambulation paths and those such as to the ecological gardens / private (communal) gardens used primarily for occasional visits and/or maintenance; and
 - details of landscape screening to the PRS.
- For the Private Communal Gardens, to include details of separation of these block by block and/or core by core, boundary fences, and youngest childrens' play facilities (in each one)

8. APPLICATIONS DETERMINED UNDER DELEGATED POWERS

The Committee considered a report setting out decisions on planning applications taken under delegated powers for the period 30 May to 24 June 2016.

RESOLVED

- That the report be noted.

9. UPDATE ON MAJOR PROPOSALS

The Committee considered an update on major planning proposals in the pipeline.

The Committee raised the following points:

255 Lordship Lane: it was updated that there had been a delay in signing off the s106 agreement but that negotiations were ongoing.

Apex House: concerns were raised about the retention of the original architect and delays signing off the s106 agreement. Officers advised that the permission had been signed off a couple of weeks ago and included a condition covering the retention of the architect or Council approval of any proposed replacement.

Lawrence Road: concerns were raised over the lack of cohesion in design between the schemes coming forward for this area. Officers confirmed they were aware of these concerns. The provision of local space was also being looked into.

RESOLVED

- That the report be noted.

10. DATE OF NEXT MEETING

5 September.

CHAIR: Councillor Natan Doron

Signed by Chair

Date

Planning Sub Committee Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS

Reference No: HGY/2016/1377

Ward: Tottenham Hale

Address: 37a Markfield Road, London N15 4QF

Proposal: Adaptation of the existing warehouse building (B1/B2/B8 use) to artist recording & work pods (B1), various office sublets (B1), enclosed performance space (Sui Generis) and cafe/bar (A4) with associated amenity spaces and external alterations (amended description)

Applicant: Mr Robert Burn (TEN87 Studios)

Ownership: Private

Case Officer Contact: Malachy McGovern

Date received: 10/05/2016

Drawing number of plans:

1.1 The application has been referred to the Planning Sub-Committee for a decision as it is a Major application.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the change of use of the industrial site to a mixed use comprising sui generis recording studio and work space, B1a office space, performance space (sui generis) and A4 cafe / bar use is considered to be acceptable;
- The proposal would increase the levels of employment on site and would complement the surrounding uses;
- The proposal would have a significant positive impact on the regeneration of the area;
- The impact of the development on neighbouring residential amenity is acceptable;
- The design and appearance of the proposal is acceptable;

- There would be no significant impact on parking or the surrounding highways network;

2.0 RECOMMENDATION

- 2.1 That the Committee resolve to GRANT planning permission and that the Head of Development Management is authorised to issue the planning permission subject to the conditions, informatives and signing of a section 106 Legal Agreement providing for the obligation set out in the Heads of Terms below set out below.
- 2.2 That the section 106 legal agreement referred to in resolution (2.1) above is to be completed no later than 31/10/2016 or within such extended time as the Head of Development Management or the Assistant Director Planning shall in her/his sole discretion allow; and
- 2.3 That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.2) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.
- 2.4 That delegated authority be granted to the Director/Assistant Director - Planning to make any alterations, additions or deletions to [the recommended heads of terms and/or] recommended conditions as set out in this report (and to authorise any such changes requested by the GLA) and to further sub-delegate this power provided this authority shall be exercised in consultation with the Chairman (or in their absence the Vice-Chairman) of the Sub-Committee.

Conditions

- 1) Development begun no later than three years from date of decision
- 2) In accordance with approved plans
- 3) Approved uses
- 4) Hours of operation
- 5) Loading/ Servicing Plan
- 6) Cycle Storage
- 7) Refuse Storage & Collection
- 8) Gas Boilers
- 9) Noise

Informatives

1. Hours of Construction

2. Street Naming & Numbering
3. Sprinkler System
4. Water Pressure/ Drainage
5. Public Sewer
6. Asbestos Survey

Section 106 Heads of Terms:

- 1) Travel Plan and associated monitoring fee (See Section 6.7.6 for full details)

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- 3.0 PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS
- 4.0 CONSULTATION RESPONSE
- 5.0 LOCAL REPRESENTATIONS
- 6.0 MATERIAL PLANNING CONSIDERATIONS
- 7.0 COMMUNITY INFRASTRUCTURE LEVY
- 8.0 RECOMMENDATION

APPENDICES:

- Appendix 1: Consultation Responses
Appendix 2: Plans and images

3.0 PROPOSED DEVELOPMENT AND LOCATION DETAILS

3.1 Proposed development

- 3.1.1 The application seeks full planning permission for adaptation of the existing warehouse building (B1/B2/B8 use) to artist recording & work pods (B1), various office sublets (B1), enclosed performance space (Sui Generis) and cafe/bar (A4) with associated amenity spaces and external alterations (amended description)

3.2 Site and surroundings

- 3.2.1 The application site is irregularly shaped measuring approximately 16 metres wide and between 75 and 85 metres deep giving a total area of 1300 sq metres (0.13 hectares) and is located on the eastern side of Markfield Road close to the junction with Constable Crescent. The site currently comprises a 2 and a half storey, modern brick built commercial building which has an office and loading

bay adjoining a service yard on the eastern side of the site. A large metal clad structure covering the remainder of the site to the west is used as the main warehouse area. The site is currently used for light industry B1(c) and storage (B8) however has been in decline for a number of years. Access is granted directly from Markfield Road.

3.2.2 The gross internal area of the warehouse is 1117 square metres. The site is located within a designated employment area known as Locally Significant Industrial Site (LSIS 14). Immediately north of the site is a storage yard with similar warehousing and again to the east on the opposite of Markfield Road is a similar arrangement of industrial buildings. To the south and south west, similarly, a number of industrial and warehouse buildings with service yards are found. Immediately west of the site however is a small area of open green space which is accessed directly from Stamford Road.

3.2.3 The site does not comprise any Listed Buildings and is not located within a Conservation Area. The site is also located within the Tottenham Hale Growth Area as identified on the Haringey Local Plan Strategic Policies map.

3.3 Relevant planning history

3.3.1 There is no relevant planning history for the site

4.0 CONSULTATION

4.1 The following were consulted regarding the application, and the following responses were received:

Internal:

- 1) LBH Conservation – No response as no significant alterations or extensions to the building
- 2) LBH Transport: Generally supportive of the proposal subject to conditions and S106 including Servicing & Delivery plan and Travel Plan
- 3) LBH Pollution: Conditions recommended re 1. Combustion of Energy / Plant and 2. Management and Control of Dust. Informative also advised re asbestos survey

- 4) LBH Cleansing East: Informatives advised re storage of waste
- 5) LBH Building Control: No response
- 6) LBH Tottenham Team Central: The Tottenham Team are highly supportive of the scheme
- 7) LBH Economic Development: Support the scheme – funding has been granted through the opportunity investment fund
- 8) LBH Licencing: Advice given in relation to hours of operation
- 9) LBH Food & Hygiene: No response
- 10) LBH Noise, Pollution & Air Quality: Combustion, Energy & Plant condition recommended in addition to informative re asbestos handling
- 11) LBH Flood & Surface Water: No response
- 12) LBH Emergency Planning & Business: No response
- 13) LBH Head of Carbon Management: No response

External:

Thames Water: No objection - Informatives advised

London Fire: No response

LBH Waltham Forest: No response

LBH Hackney: No response

5.0 LOCAL REPRESENTATIONS

5.1 The following were consulted:

- 208 neighbour letters were sent
- 2 site notices were erected close to the site

5.2 The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

No of individual responses: 12

Objecting: 1

Supporting: 10

Other: 1

5.3 The objections raised in representations that are material to the determination of the application are set out in Appendix 1 and summarised as follows:

- The proposed use would not fit in well with the existing industrial uses
- Health & safety concerns
- Customers consuming alcohol on site might cause problems such as crime and anti-social behaviour
- Large groups of people might pose a fire risk

The letters of support can be summarised as follows:

- The project would improve and bring employment into the area
- New use will enrich Tottenham's culture
- Positive addition to local area
- Would support local employment and culture
- Benefits to local musicians and music producers
- Would provide useful services for local and new people in the area
- Project would provide a new creative and social hub

6.0 MATERIAL PLANNING CONSIDERATIONS

The main planning issues raised by the proposed development are:

1. Principle of the development
2. Design and appearance
3. The impact on the amenity of adjoining occupiers
4. Transportation
5. Sustainability
6. Waste

- 7. Accessibility
- 8. Planning Obligations

6.1 Principle of the development

- 6.1.1 Local Plan Policy SP0 supports the broad vision of the NPPF and states that the Council will take a positive approach to reflect the presumption in favour of sustainable development. Permission will be granted by the Council unless any benefits are significantly outweighed by demonstrable harm caused by the proposal.
- 6.1.2 The primary concern with the proposed change of use would be the loss of the existing B2 / B8 uses and therefore the loss of, or reduction of any employment generating floor space. It is considered that whilst there would be a net loss of employment generating floor space, the proposed uses would in fact increase levels of employment and would complement the remaining B1(a) employment floor space to be reconfigured and expanded.
- 6.1.3 The NPPF states at paragraph 19 that the “Government is committed to ensuring that the planning system does everything it can to support sustainable economic growth. Planning should operate to encourage and not act as an impediment to sustainable growth.” The NPPF goes further at paragraph 21 and states that “investment in business should not be over-burdened by the combined requirements of planning policy expectations. Planning policies should recognise and seek to address potential barriers to investment”.
- 6.1.4 The submitted information suggests that the existing storage and industrial activity on site will move elsewhere as the owner consolidates operations to a larger location. This pattern of relocation and consolidation is commonplace. With the decline of traditional manufacturing and industrial practices, opportunities to support emerging economic sectors must be considered alongside core policy objectives for sustainable growth. Paragraph 21 of the NPPF states that “planning should support existing business sectors, taking account of whether they are expanding or contracting and, where possible, identify and plan for new or emerging sectors likely to locate in their area. Policies should be flexible enough to accommodate needs not anticipated in the plan and to allow a rapid response to changes in economic circumstances.”
- 6.1.5 The site currently comprises a two-storey commercial building which has previously been used for industrial purposes (use class B1 & B2) and warehouse storage (use class B8). The loss of the existing employment land is a

fundamental planning consideration and Local Plan Policy SP8 makes it clear that there is a presumption to support local employment and small sized businesses that require employment land and space. It is also important to note that emerging DPD Policy DM48 states that the Council will only consider the loss of employment land or floor space to be acceptable subject to any new development proposals providing the maximum amount of replacement employment floor space possible having regard to viability. Although only limited weight can be afforded to emerging DM DPD policies, the document is now at pre-submission stage and is now closer to adoption stage, so is therefore material in assessing this planning proposal.

- 6.1.6 Whilst the proposal would result in the cessation of the existing B2 and B8 operations on site, as stated above, the proposed uses involving a recording studio (sui generis) and ancillary bar and live music space (A4) would increase employment levels of site. Whilst some 865 sqm of B8 floor space would be lost, the submitted drawings indicate that a mezzanine level would be constructed within the main building and as such the available B1a office floor space would increase from 251 sqm to 812 sqm. It is considered that the reconfiguration of the existing space to provide more office space and new recording studio pods would represent a more sustainable and more viable use of the site. The uses proposed are representative of current market forces which must be considered.
- 6.1.7 The applicant submits in his planning statement that the existing use employs 3 full time and 2 part time staff. The proposed use by contrast would provide the following levels of employment:
- 7 offices - up to 20 people
 - Co-working spaces – up to 20 people
 - Recording studios – unknown however maximum use would be up to 36 people
 - Company positions – 5 people including studio manager, studio booking agent, 2 x cleaners and 1 x security guard
- 6.1.8 The proposed cafe / bar use (class A4) to be known as ‘Five Miles’ is considered to complement the enclosed performance space (sui generis) and it is clear that synergies would exist between the live music venue and the music recording studios. It is considered that the combination of these uses within a controlled space would stimulate local employment and would align with the Council’s wider regeneration initiatives whilst retaining a satisfactory degree of employment on site in line with policy 4.6 ‘Support for and enhancement of arts, culture, sport and entertainment’ on the London Plan 2015. The proposed uses would therefore be compatible with the surrounding industrial uses, would be in line with

the broader vision of the NPPF to support sustainable economic and social development, and are acceptable in principle.

- 6.1.9 The Tottenham Regeneration Team within Haringey Council have provided considerable support for the scheme. The proposed development is located on Markfield Road and finds itself at the heart of an area of significant change. There has been a pattern of intensification of existing buildings and their uses, which has resulted in much higher job densities being secured. There has been particular growth in the South Tottenham Employment Area in creative enterprises and within the creative maker economy. This pattern aligns well with the council's objectives to secure higher job densities within the borough's existing stock of employment land.
- 6.1.10 A significant issue within the creative community in South Tottenham has been the absence of places to meet, record and perform. This proposal provides something of a focal point for the creative community, which would complement the existing creative businesses located along Markfield Road. The Tottenham Regeneration team have advised that this proposal as positive for the sustainable regeneration and intensification of Markfield Road area.

6.2 Design and appearance

- 6.2.1 The NPPF should be considered alongside London Plan 2015 Policies 3.5, 7.4 and 7.6, Local Plan 2013 Policy SP11 and Policy DM1 of the Pre-Submission Version of the Development Management DPD January 2016, which identifies that all development proposals should respect their surroundings by being sympathetic to their form, scale, materials and architectural detail.
- 6.2.2 The existing building is rather utilitarian and typically industrial in nature. The main 2 storey, steel framed structure facing Markfield Road has a brick finish at ground floor and grey metal cladding on the upper floor and roof which contributes little to the surrounding townscape. The existing building is therefore of little architectural merit and is surrounded by similar such buildings.
- 6.2.3 The submitted drawings and information confirm that no external extensions or increase in building mass is proposed. The existing building would be renovated and retrofitted internally and a new mezzanine would be constructed providing a first floor. Central to the scheme are the construction of 16 individual recording

studio pods which would be located at ground floor. The performance space would comprise a stage and cafe/ bar area which would all be constructed within the existing building envelope and would be double height.

6.2.4 The submitted drawings indicate that new doors would be installed behind the existing roller shutter door on the front elevation. The existing rain screen cladding would also be painted. At ground floor level the existing brickwork would be over-clad with reclaimed timber boarding. To the rear, a new fire escape door would be installed and some additional air handling units would be installed (the latter appear as indicative on the submitted drawings and do not form part of this application). The proposed changes to the exterior are minimal and would represent an improvement in terms of visual amenity.

6.2.5 In terms of layout, access would be granted from the main access off Markfield Road. The front yard area would provide parking for 4 vehicles, cycle parking and refuse space. The existing perimeter fence, boundary treatments and hard standing would all be retained as existing with no material alterations or landscaping proposed. A reception area would be situated at the building entrance providing access to the recording studio pods and live music venue at ground floor level. A separate entrance would be provided for the cafe/ bar area at ground floor level. The proposed office space would be provided at first floor level and accessed through the main stairwell which is considered acceptable.

6.2.6 Overall, the proposal is considered to be acceptable and in general accordance with London Plan 2015 Policies 3.5, 7.4 and 7.6 and Local Plan 2013 Policy SP11.

6.3 Impact on the amenity of adjoining occupiers

6.3.1 Saved UDP Policy UD3 states that development proposals are required to demonstrate that there is no significant adverse impact on residential amenity or other surrounding uses in terms of loss of daylight or sunlight, privacy, overlooking. Similarly London Plan Policy 7.6 requires buildings and structures should not cause unacceptable harm to the amenity of surrounding land and buildings, particularly residential buildings, in relation to privacy. This is reflected in Policy DM1 of the Pre-Submission Version of the Development Management DPD January 2016.

6.3.2 The proposal would not involve any extensions or increase in building mass and as such there would be no impact on neighbouring amenity by way of loss of daylight/ or sunlight.

- 6.3.3 The proposal would not involve the insertion of any new windows or openings (the new doors would be behind the existing roller shutters and would face onto the front yard only) and as such there would be no overlooking or privacy issues.
- 6.3.4 Perhaps an obvious concern with a performance venue and cafe/ bar might be the noise and disturbance generated by patrons using the venue and the performance acts / musical recording sessions associated with the use. Saved UDP Policy UD3 deals with Noise pollution and resists developments which would involve an unacceptable level of noise beyond the boundary of the site. This stance is in line with the NPPF and with London Plan Policy 7.15 and Policy SP14 of Haringey's Local Plan.
- 6.3.5 Given the physical separation distance between the site and the nearest residential property some 50 metres away to the west, and the fact the music would be contained within the existing building envelope, it is not considered that the proposed uses would cause any significant impact on residential amenity. The proposed recording studio pods would be sound proofed/ insulated to Rw50dB in order to avoid noise interference and ensure use of one does not compromise use of the other. In doing so, noise would be completely mitigated from having an impact on external or neighbouring properties.
- 6.3.6 The proposed performance space would also be sound insulated to Rw 60dB and would be located within the centre of the building with adequate buffers between the residential properties on Stamford Road to the west. Planning conditions are proposed to ensure that noise is kept within reasonable levels. The submitted assessment states that potential noise level at the closest residential property would be <10dB which is acceptable given typical low suburban night time external noise levels LA90 ~30dBA.
- 6.3.7 The submitted drawings indicate that access to the site would be via Markfield Road. As such it is not considered there would be any significant impact in the amenity of Stamford Road residents by way of staff and customers coming and going from the site. There would be no nearby residential uses on Markfield Road affected by way of noise nuisance or disturbance. It is considered that hours of operation and potential noise can be adequately controlled by way of planning conditions.
- 6.3.6 The proposal is not considered to harm the amenities of neighbours and is in general accordance with saved UDP 2006 Policy UD3 and concurrent London Plan 2015 Policy 7.6.

6.7 Transportation

6.7.1 The site is located to the west side of Markfield Road, immediately north of the junction with Constable Crescent. The site has a PTAL value of 5 which is considered 'very good' access to public transport services. Two bus services are accessible within a 4 minute walk, and both Seven Sisters and Tottenham Hale Stations are accessible within a ten to eleven minute walk. The site is not within any of the Borough's CPZ's but is very close to the eastern periphery of the Seven Sisters CPZ which has operating hours of 0800 – 1830 Monday to Saturday.

6.7.2 Deliveries and Servicing

There are no details provided in relation to the proposed servicing arrangements. The predicted numbers and types of service vehicle movements to and from the site need to be provided for consideration, along with commentary on where vehicles will stop to make deliveries and collections. This can be secured by condition.

6.7.3 Parking arrangements

4 parking bays (including one disabled/blue badge bay) are proposed, located to the eastern edge of the site. The layout proposed is acceptable, it is noted that the gate affording access to the visitor cycle parking and bin store needs to open across the side of the blue badge bay – however it is expected that this is very unlikely to cause a problem. The likely parking demands of the development need to be worked up and provided for consideration. As commented above there are high daytime parking stresses in the locality. The site is not in the Seven Sisters CPZ and by being immediately outside experiences very high parking stresses. It is recommended that a Travel Plan is secured by condition.

6.7.4 Cycle parking

The 10 no. spaces proposed for the Internal cycle parking by reception appears to be vertical - horizontal cycle parking is preferred as it is easier to use, however in any instance the full details of the system intending to be used, and the installation requirements for height/spacings/clearance and the like need to be provided for approval. 10 spaces exceeds the London Plan requirements which is welcomed.

6.7.5 The External cycle parking (visitor) area is shown behind the car parking, in the

same location as the bin store, behind a locked gate. The main concern for visitor cycle parking is security, assuming the gate access is controlled and secure this should be fine. Again the proposed provision exceeds London Plan requirements and this is welcomed in principle. Full details need to be provided for the employee and visitor cycle parking and this can be covered by condition, to be approved prior to commencement of the works.

6.7.6 Travel Plan

A travel plan to accord with TfL's guidelines will be needed, given the potential for exacerbating existing parking stresses in the locality. The exact form of this depends on the number of employees. A travel plan is equally important for both the daytime and evening proposals. A draft needs to be provided for consideration prior to any planning decision as the potential impacts from this proposal are considerable. The applicant has submitted a draft Travel Plan which sets out ways in which the venues will encourage more sustainable modes of transport. A staff and visitors Travel Plan must be secured by way of the S.106 agreement, as part of the travel plans, the following measures must be included in order to maximise the use of public transport:-

- a) The applicant submits a Travel Plan for each aspect of the Development and appoints a travel plan co-coordinator who develop must work in collaboration with the Facility Management Team to monitor the travel plan initiatives annually.
- b) Provision of welcome induction packs for staff containing public transport and cycling/walking information like available bus/rail/tube services, map and time-tables to all staff, travel pack to be approved by the Councils transportation planning team.
- c) The developer is required to pay a sum of £3,000 (three thousand pounds) per travel plan for monitoring of the travel plans; this must be secured by S.106 agreement.
- d) Provide cycle parking in line with the London Plan and must be reviewed annually as part of the travel plan and provide additional cycle parking facility if required.
- e) Provide public transport information with ticking (electronic or paper) where possible and on the website for any live performance planned.

6.7.7 On balance, the proposal is considered acceptable and would promote sustainable modes of travel over the private motor vehicles in accordance with London Plan 2015 Policy 6.9 and Local Plan 2013 Policy SP7 Transport, and

Policy DM31 of the Pre-Submission Version of the Development Management DPD January 2016.

6.8 Sustainability

6.8.1 The NPPF and London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10 and 5.11, as well as Policy SP4 of Haringey's Local Plan and SPG 'Sustainable Design & Construction' set out the sustainable objectives in order to tackle climate change. The Council requires new residential development proposals to meet the carbon reduction requirements of the London Plan.

6.8.2 The submitted information is limited and no energy statement has been provided. The environmental statement states that efforts to minimise waste and recycle materials wherever possible will be encouraged. The proposed refurbishment of the building is intended to be a 'light touch' approach and the proposed fit out will make use of low energy mechanical, electrical light fittings and low water consumption sanitary fittings.

6.10 Waste

6.10.1 It is considered that the details included with the application are sufficient to demonstrate that refuse and recycling can be adequately stored on the site.

6.10.2 Given the layout of the site, it is considered that details of the storage and collection of refuse, together with a management plan for collection, should be secured via a condition, should consent be granted.

6.11 Conclusion

6.11.1 The principle of a mixed use comprising B1a office space, sui generis recording studios and performance space, and ancillary A4 cafe/ bar on the site is considered to be acceptable and would be compatible with surrounding land uses. The design and appearance of the development would represent an improvement to the existing industrial and the visual amenity of the street scene. The proposal would not unduly impact on the amenity currently enjoyed by surrounding residents and subject to the imposition of appropriate conditions and would not have an adverse impact on the surrounding highway network and parking.

6.11.2 All other relevant policies and considerations, including equalities, have been taken into account. Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION.

7.0 CIL

7.1 The proposed mezzanine floor would be 194 sqm in area and as such would not be Mayoral CIL Liable (given it is less than 200 sqm).

The scheme is not Haringey CIL liable.

8.0 RECOMMENDATIONS

GRANT PERMISSION subject to conditions and subject to a S106 Legal Agreement

Applicant's drawing No.(s): Site Location Plan, Site Plan (P003-P1), P200-P1, P201-P1, P207, P300-P1, P202-P1, P203-P1, P204-P1, P205-P1, P100-P1, P101-P1, P102-P1, P103-P1, P106-P1

Conditions:

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Planning & Compulsory Purchase Act 2004 and to prevent the accumulation of unimplemented planning permissions.

2. The approved plans comprise drawing nos (list). The development shall be completed in accordance with the approved plans except where conditions attached to this planning permission indicate otherwise or where alternative details have been subsequently approved following an application for a non-material amendment.

Reason: In order to ensure the development is carried out in accordance with the approved details and in the interests of amenity.

3. The approved uses in the detailed planning permission are as follows:

Ground Floor Use Classes: cafe/ bar (A4), recording studios (sui generis), performance space (sui generis))

First Floor: Offices (B1a)

a) The floor area of both the cafe/ bar and live performance space shall not at any time be enlarged and shall not exceed the floor areas indicated on the drawings hereby approved.

b) Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987, and the Town and Country Planning (General Permitted Development) Order 1995 (as amended), there shall be no change of the particular use of the recording studios or offices hereby approved.

Reason: In order to control the nature of cafe/ bar and entertainment uses on the site and in order to ensure the uses are compatible with the surrounding area because other uses within the same Use Class or another Use Class are not necessarily considered to be acceptable consistent with Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

4. The cafe / bar and performance space use hereby permitted shall not be operated before 11:00 hours or after 23:00 hours Monday to Thursday, before 11:00 hours or after 03:00 hours Fridays and Saturdays and before 11:00 hours or after 23:00 hours Sundays and Bank Holidays.

Reason: This permission is given to facilitate the beneficial use of the premises whilst ensuring that the amenities of adjacent residential properties are not diminished consistent with Saved Policy UD3 of the Haringey Unitary Development Plan 2006.

5. No development shall start until details of servicing, loading, unloading (and turning) of vehicles has been submitted and approved in writing by the Local Planning Authority. The development shall thereafter be completed in accordance with the approved details.

Reason: In order to ensure that the proposed development does not prejudice the free flow of vehicular and pedestrian traffic or the conditions of general safety of the highway consistent with Policy 6.13 of the London Plan 2011 and Saved Policies UD3 and M10 of the Haringey Unitary Development Plan 2006.

6. No development shall take place until details of the type and location of secure and covered cycle parking facilities have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until a minimum of 10 cycle parking spaces for users of the development, have been installed in accordance with the approved details. Such spaces shall be retained thereafter for this use only.

Reason: To promote sustainable modes of transport in accordance with Policies 6.1 and 6.9 of the London Plan 2011 and Policy SP7 of the Haringey Local Plan 2013.

7. No development shall take place until details of a travel plan showing how patrons will access the site by more sustainable transport modes has been submitted to

and approved in writing by the local planning authority. The plan must show measures that will be used to promote more sustainable modes of transport and how such measures will be managed once the development has been first implemented. The approved travel plan shall be implemented prior to first occupation of the development hereby permitted.

Reason: To promote sustainable transport and to reduce the potential for additional on street parking stress as a result of the development, consistent with Policies SP0, SP4 and SP7 of the Haringey Local Plan.

8. No development shall take place until a detailed scheme for the provision of refuse and waste storage and recycling facilities has been submitted to and approved in writing by the Local Planning Authority. Such a scheme as approved shall be implemented and permanently retained thereafter.

Reason: In order to protect the amenities of the locality and to comply with Saved Policy UD7 of the Haringey Unitary Development Plan 2006 and Policy 5.17 of the London Plan 2011.

9. Prior to installation details of the gas boilers to be provided for space heating and hot water should be forwarded to the Local Planning Authority. The boilers to be provided for space heating and domestic hot water shall have dry Nox emissions not exceeding 20 mg/kWh (0%).

Reason: As required by The London Plan Policy 7.14.

10. Details shall be submitted for the approval of the Local Planning Authority before any development is commenced, to demonstrate that the sound reduction index of the separating party [floor/ceiling][walls], R_w , will achieve the following criteria with windows shut and other means of ventilation provided: * The background L90,15min linear noise level in any one third octave band from 50Hz to 160 Hz, and also the overall Linear L90 level, as previously measured inside a habitable room of the nearest affected premises with windows closed, shall not be increased when the amplified music or speech is played and the measurement is repeated at the same position, using L90 linear over any 5 minute period with the background and source operating together.

Reason: To protect the living conditions of occupiers of nearby properties, in accordance with policies

Informatives:

INFORMATIVE : Hours of Construction Work: The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

- 8.00am - 6.00pm Monday to Friday
- 8.00am - 1.00pm Saturday

- and not at all on Sundays and Bank Holidays.

INFORMATIVE : The new development will require numbering. The applicant should contact the Local Land Charges at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.

INFORMATIVE : The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.

INFORMATIVE : With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

INFORMATIVE: A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing wwqriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality."

INFORMATIVE: Prior to demolition of any existing structures or buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.

Appendix 1: Consultation Responses

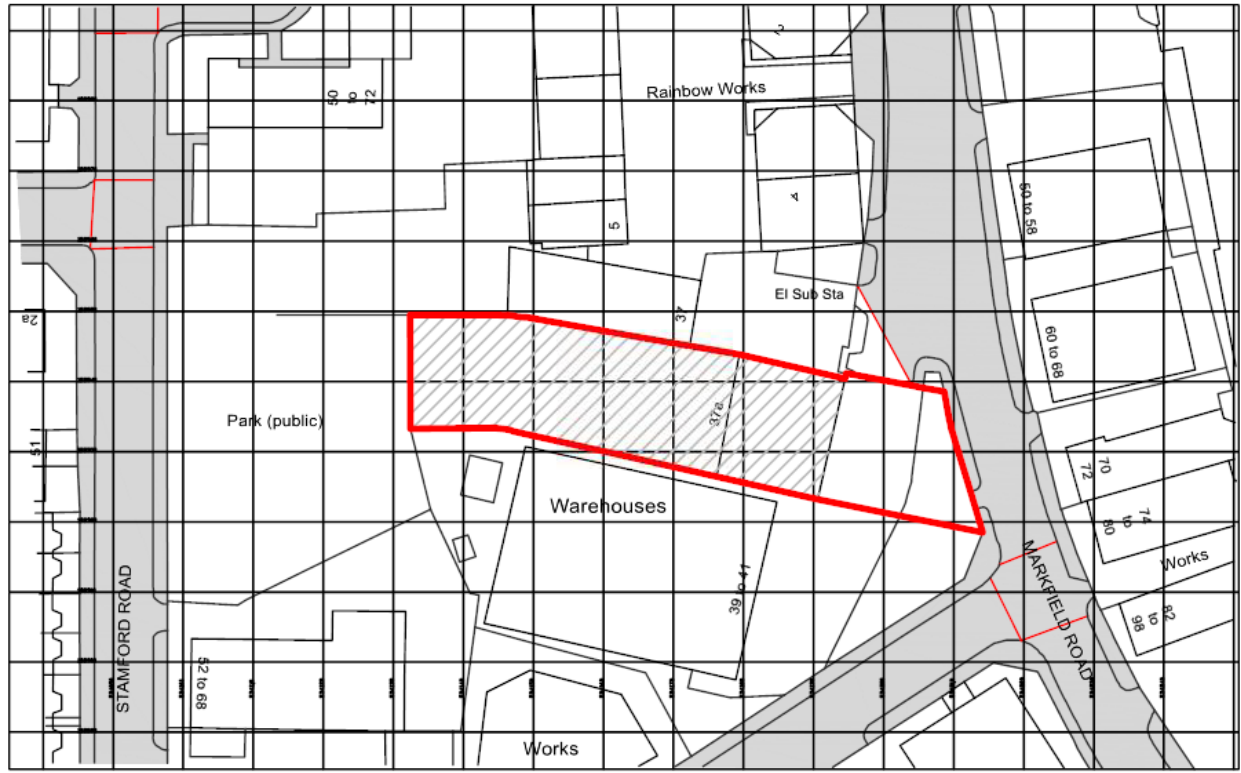
Stakeholder	Question/Comment	Response
INTERNAL		
Transportation	Travel Plan (S106) and Servicing plans required (condition)	Noted and both included
Pollution Team	No objection to the proposal however two conditions regarding contaminated land	Noted and both conditions included
Waste Management	No objection however information provided	Noted and refuse management secured by condition
Regeneration Team	<p>Supportive. The proposed development is located on Markfield Road and finds itself at the heart of an area of significant change. There has been a pattern of intensification of existing buildings and their uses, which has resulted in much higher job densities being secured. There has been particular growth in the South Tottenham Employment Area in creative enterprises and within the creative maker economy. This pattern aligns well with the council's objectives to secure higher job densities within the borough's existing stock of employment land.</p> <p>A significant issue within the creative community in South Tottenham has been the absence of places to meet, record and perform. This proposal provides something of a focal point for the creative community, which would complement the existing creative businesses located along Markfield Road.</p> <p>The Tottenham Regeneration team view this proposal as positive for the sustainable regeneration and</p>	Noted

Stakeholder	Question/Comment	Response
	intensification of Markfield Road area.	
EXTERNAL		
Thames Water	No objection raised – two informatives regarding drainage and piling method	Noted, condition recommended and informatives included.
NEIGHBOURING PROPERTIES	<ul style="list-style-type: none"> • The proposed use would not fit in well with the existing industrial uses • Health & safety concerns • Customers consuming alcohol on site might cause problems such as crime and anti-social behaviour 	<p>The proposed uses would increase employment levels on site and would not have significant adverse impacts on neighbouring amenity. The uses are therefore compatible with surrounding land uses.</p> <p>Health and safety concerns are covered by separate legislation. The Council's Building Control department have been consulted and do not object to the proposal.</p> <p>Issues regarding crime and anti-social behaviour are not considered to be a significant problem. The Planning system cannot act in bad faith and assume patrons and customers would cause such disruption. Crime and anti-social behaviour must be dealt with under relevant legislation if and when it arises and is not specifically a planning matter. The proposed operation would be controlled by planning conditions to mitigate noise and nuisance.</p>

Stakeholder	Question/Comment	Response
	<ul style="list-style-type: none"> <li data-bbox="621 235 1304 272">• Large groups of people might pose a fire risk 	<p data-bbox="1402 267 2037 375">As above, the Council's Building Control department have been consulted and do not object to the proposal in terms of fire risk.</p>

Appendix 2: Plans and Images

Site Plan



Photograph Collage of Proposal



Proposed South Elevation



Photo of Existing South (front) Elevation



Proposed North Elevation



Photo of Existing North (rear) Elevation



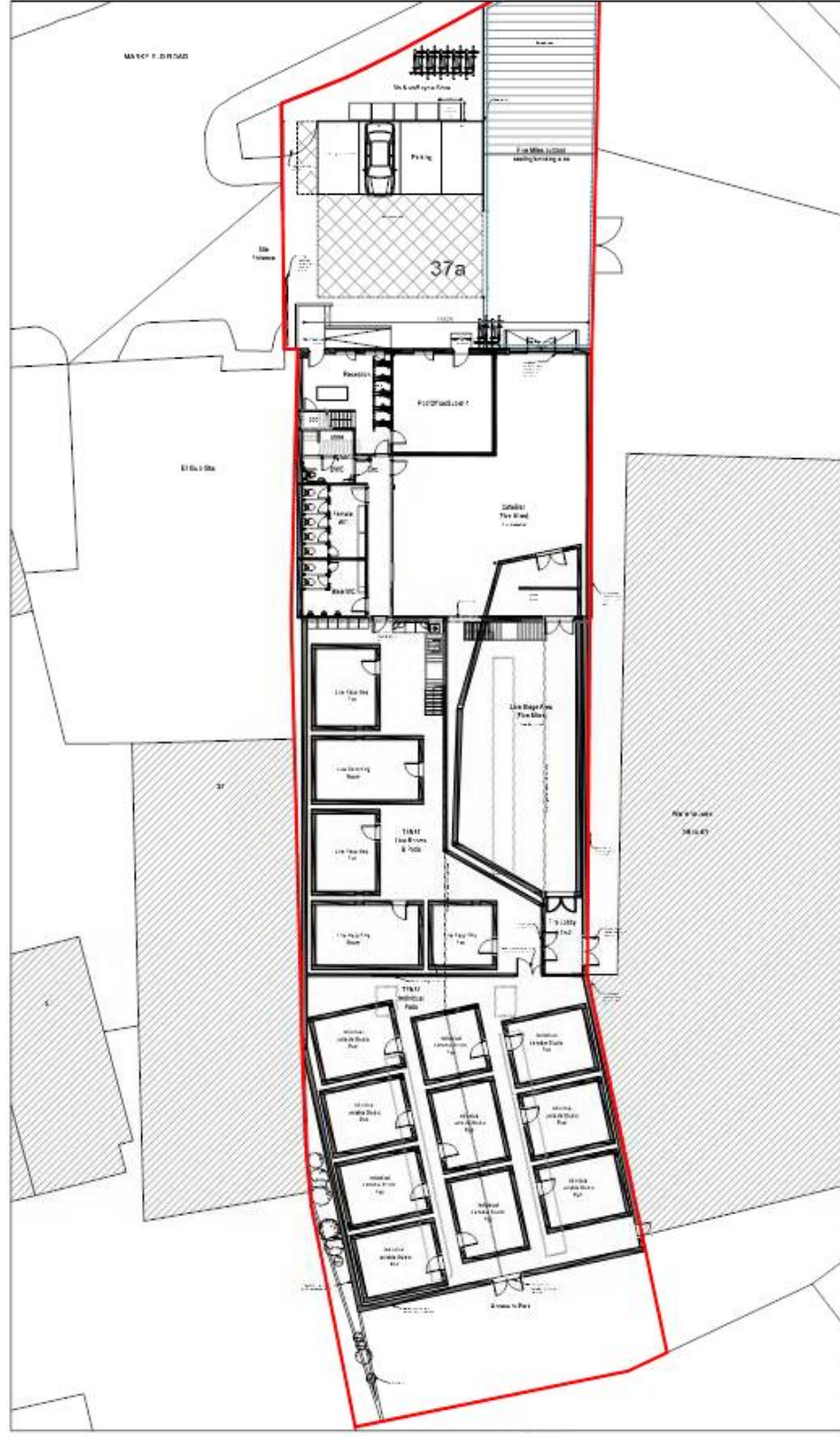
Proposed West Elevation



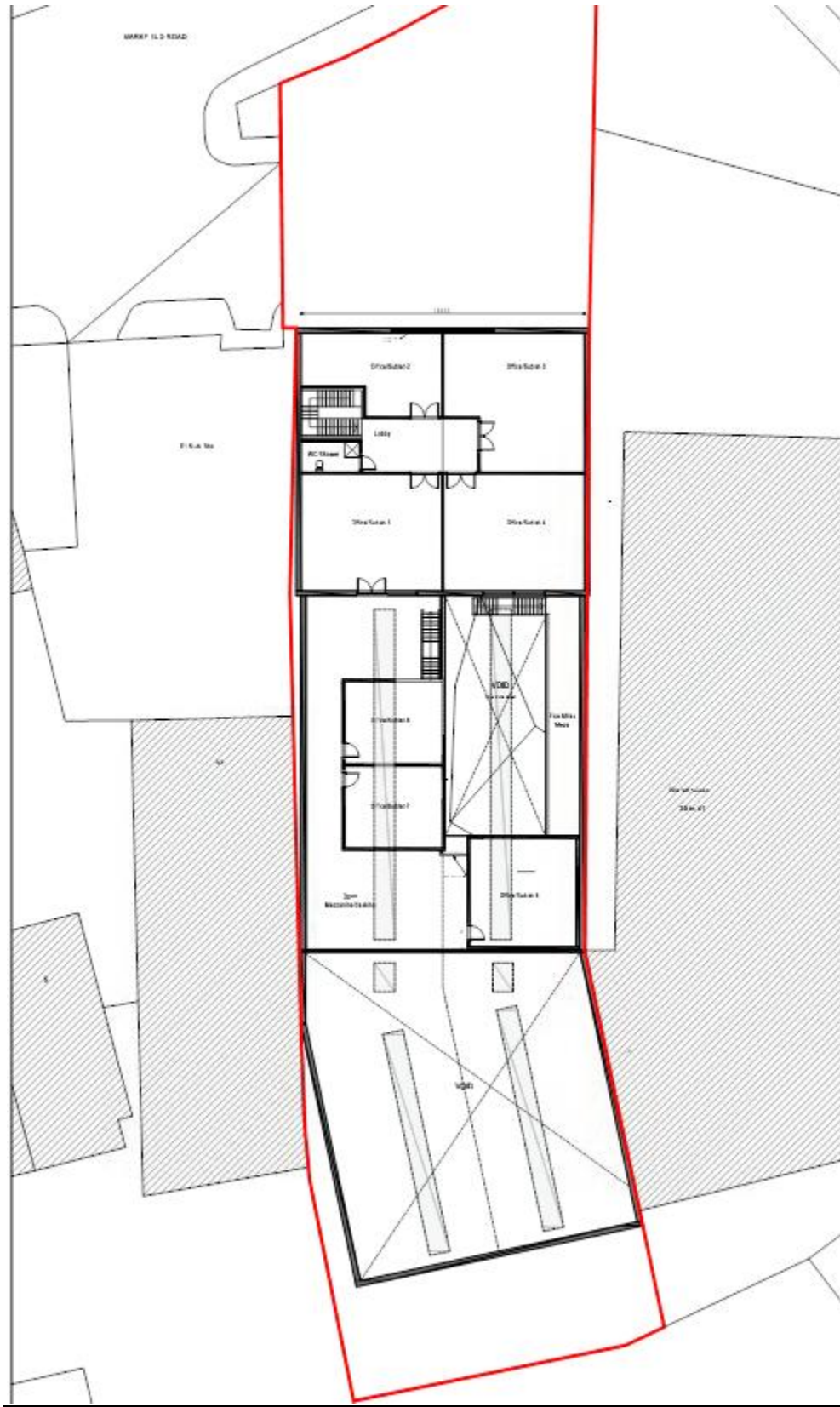
Proposed East Elevation



Proposed Ground Floor Plan



Proposed First Floor



Planning Sub Committee

Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE**1. APPLICATION DETAILS****Reference No:** HGY/2016/0558**Ward:** Bounds Green**Address:** Lock up Garages Cline Road N11 2NE

Proposal: Demolition of existing lock-up garages and construction of 9 residential units (comprising 6 x 4 bed town houses, 2 x 2 bed flats, and 1 x 1 bed flat) and 87.9sq metres of commercial floor area with associated access road, parking areas and cycle stores

Applicant: J W Cline Road Ltd**Ownership:** Private**Case Officer Contact:** Wendy Robinson**Site Visit Date:** 29/02/16 and 22/06/16**Date received:** 22/02/2016**Last amended date:** 11/07/16

Drawing number of plans: PAR-199-SUR-001, Lifetime Homes Assessment, Ecology Appraisal, Transport Statement v2, Planning Statement, Viability Report, 1341/1, GS-2440995 Radon Report, GS-2440996 Site Contamination Report, GS-2440997 small scale report and GS 2440997 large scale report received 15/02/16, PAR-199-PA-102B Drainaged Sustainability Report Rev B and Air Quality Report received 01/06/16, Energy Statement Rev A received 26/06/16, and PAR-199-PA-101E, PAR-199-PA-100D and PAR-199-PA-001D received 11/07/16

1.1. This application has been brought to committee because it is major development.

1.1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of a mixed use development is appropriate on this site and would retain existing levels of employment as well as additional housing.
- The proposed residential accommodation would be of an acceptable layout and standard.
- The design and appearance of the proposal is acceptable.
- There would be no material impacts of the development on the amenity of existing surrounding residents.

- There would be no significant impact on parking
- The application is in accordance with the development plan

2. SUMMARY OF RECOMMENDATION

- 2.1. That the Committee resolve to GRANT planning permission and that the Head of Development Management is authorised to issue the planning permission and impose conditions and informatives subject to the signing of a section 106 Legal Agreement providing for the obligation set out in the Heads of Terms below.
- 2.2. That the section 106 legal agreement referred to in resolution (2.1) above is to be completed no later than 31/10/2016 or within such extended time as the Head of Development Management or the Assistant Director Planning shall in her/his sole discretion allow; and
- 2.3. That, following completion of the agreement(s) referred to in resolution (2.1) within the time period provided for in resolution (2.2) above, planning permission be granted in accordance with the Planning Application subject to the attachment of the conditions.
- 2.4 That delegated authority be granted to the Director/Assistant Director - Planning to make any alterations, additions or deletions to [the recommended heads of terms and/or] recommended conditions as set out in this report (and to authorise any such changes requested by the GLA) and to further sub-delegate this power provided this authority shall be exercised in consultation with the Chairman (or in their absence the Vice-Chairman) of the Sub-Committee.

Conditions

- 1) Development begun no later than three years from date of decision
- 2) In accordance with revised plans
- 3) Construction Management Plan (CMP) and Construction Logistics Plan (CLP)
- 4) Contamination 1
- 5) Contamination 2
- 6) Pilling method statement
- 7) Construction dust
- 8) Considerate Constructors Scheme
- 9) Boilers
- 10) Energy statement
- 11) Commercial refuse management plan
- 12) Drainage surface water
- 13) Drainage sustainable
- 14) Materials submitted for approval
- 15) Boundary treatment
- 16) Hard and soft landscaping
- 17) Cycle parking facilities
- 18) Sub-station survey report

- 19) Removal of permitted development rights
- 20) Commercial unit for B1 use only
- 21) Provision of access/crossover
- 22) Lifetime Homes compliance

Informatives

- 1) Co-operation
- 2) Ownership
- 3) Hours of construction
- 4) Party Wall Act
- 5) CIL liable
- 6) Street Numbering
- 7) Sprinklers
- 8) Surface water drainage
- 9) Thames water
- 10) Groundwater
- 11) Minimum pressure
- 12) Asbestos

Section 106 Heads of Terms:

- 1) Affordable housing contribution £379,680
- 2.4. In the event that members choose to make a decision contrary to officers' recommendation members will need to state their reasons.
- 2.5. That, in the absence of the agreement referred to in resolution (2.1) above being completed within the time period provided for in resolution (2.2) above, the planning permission be refused for the following reasons:
- 1) The proposed development in the absence of a legal agreement securing the provision of on-site affordable housing or a financial contribution in lieu would have a detrimental impact on the provision of much required affordable housing stock within the Borough and would set an undesirable precedent for future similar planning applications. As such, the proposal is contrary to policy SP2 'Housing' of the Council's Local Plan March 2013, emerging policy DM13 'Affordable Housing' of the Development Management, Development Plan Document (pre-submission version January 2016), and Policy 3.12 (Negotiating Affordable Housing on Individual Private Residential and Mixed Use Schemes) of the London Plan.
- 2.6. In the event that the Planning Application is refused for the reasons set out in resolution (2.5) above, the Head of Development Management (in consultation with the Chair of Planning sub-committee) is hereby authorised to approve any

further application for planning permission which duplicates the Planning Application provided that:

- i. There has not been any material change in circumstances in the relevant planning considerations, and
- ii. The further application for planning permission is submitted to and approved by the Assistant Director within a period of not more than 12 months from the date of the said refusal, and
- iii. The relevant parties shall have previously entered into the agreement contemplated in resolution (1) above to secure the obligations specified therein.

2.7. That delegated authority be granted to the Head of Development Management to make any alterations, additions or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chairman (or in their absence the Vice-Chairman) of the Sub-Committee.

CONTENTS

3. PROPOSED DEVELOPMENT AND LOCATION DETAILS
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7. RECOMMENDATION

APPENDICES:

- Appendix 1: Consultation responses
- Appendix 2: Plans and images

3. PROPOSED DEVELOPMENT AND LOCATION DETAILS

Proposed Development

- 3.1. Planning permission is sought for the demolition of existing lock-up garages and construction of 9 residential units (comprising 6 x 4 bed town houses, 2 x 2 bed flats, and 1 x 1 bed flat) and 87.9sq metres of commercial floor area. The scheme initially did not include the provision of employment floor space and has now been amended to include this.
- 3.2. There are currently nine delineated car spaces to the rear of the site with secure cycle parking for each unit in storage sheds adjacent to the units' associated vehicular parking space.

Site and Surroundings

- 3.3. The site is currently occupied by 38 lock-up garages of which approximately 5 have been adapted to function and operate as a car / MOT workshops. The remaining garages are not actively used for parking of vehicles but instead for storage purposes. The site is accessed via two existing crossovers onto Cline Road. There is also a frontage to Torrington Gardens. The site slopes steeply from south to north.
- 3.4. The surrounding area is characterised by a mix of land uses units with 1 and 2 storey non-residential buildings towards Bounds Green Road, 3 to 5 storey flatted buildings to the west and 2 to 2.5 storey residential terraces to the east and south.
- 3.5. The site is not located within a conservation area and is not a listed building.

Relevant Planning and Enforcement History

- 3.6. HGY/2016/2521 Pending Demolition of existing lock-up garages and construction of 1No. Commercial unit, 2No. 2 bed flats and 6No. 3 bed town houses along with associated access road, parking areas and cycle stores. This scheme has reduced floor area (no loft accommodation) and is a minor application.
- 3.7. OLD/1985/0217 GTD 22/08/85 Use for spraying cars at garage No. 1
- 3.8. OLD/1984/0227 GTD 22/04/84 Raising of roof of 3 garages to form MOT test centre and workshop and one part of existing forecourt for car sales.

4. CONSULTATION RESPONSE

- 4.1. The following were consulted regarding the application:

- LBH Transportation
- LBH EH Pollution
- LBH Carbon Management
- LBH Waste Management
- LBH Sustainability and Drainage
- LBH Economic Regeneration
- Designing Out Crime
- London Fire Brigade
- Thames Water Utilities

4.2. The following responses were received:

Internal:

1. Transportation: No objections subject to s278 agreement, conditions and informative
2. EH Pollution: No objections subject to conditions and informatives
3. Carbon Management: No objection subject to the submitted Energy Statement achieving the London Plan Target and compliance with the statement should be conditioned
4. Waste Management: No objections subject to conditions and informatives
5. Sustainability and Drainage: No objections subject to conditions requesting more information regarding methodology and reasoning and other standard conditions

External:

6. Design out Crime: No comments as the proposal is for less than 10 units.
7. London Fire Authority: Satisfied with the proposal and recommend a condition relating to sprinklers
8. Thames Water: No objections subject to conditions and informatives

5. LOCAL REPRESENTATIONS

5.1. The following properties were consulted):

301 neighbouring properties

5.2. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

No of individual responses: 5

Supporting: 1

Objecting: 2

Neither: 2

5.3. The issues raised in representations that are material to the determination of the application are set out in Appendix 1 and summarised as follows:

- Development will be an improvement for the area from the current lock-up garages
- Concern regarding apparent lack of boundary treatment and concern regarding security for other dwellings
- Construction dust disturbance for neighbouring properties and area
- Development will block light to surrounding properties
- The terrace will be out of character as much larger than surrounding terraces
- Lack of landscaping to the front will change appearance of front garden character
- Overlooking to surrounding dwellings
- Loss of garages and lack of visitor parking spaces will result in on-street parking pressures
- Development is too dense and should be a reduced scheme with more parking
- Construction will cause disturbance to neighbouring occupants
- Permission has been approved for alterations to No. 28 Torrington Gardens so the neighbouring terrace will be altered

5.4. The following issues raised are not material planning considerations:

- Loss of a personal view (Officer comment: This is not a material planning consideration)
- No anti-social behaviour seen at this site (Officer comment: noted but does not impact assessment of this proposal)

6. MATERIAL PLANNING CONSIDERATIONS

6.1. The main planning issues raised by the proposed development are:

1. Principle of the development
2. Affordable housing
3. Standard of accommodation
4. Design and density
5. The impact on the amenity of adjoining occupiers
6. Parking and highway safety
7. Waste storage
8. Sustainability
9. Drainage

Principle of the development

- 6.2. The proposal seeks planning permission for a change of use from the existing MOT garage and lock-up garages to a mixed use residential led scheme together with a commercial unit as part of the proposed scheme. In this respect Saved UDP Policies HSG2 and EMP4 and pre-submission Development Management, Development Plan emerging Policies DM38 and DM40 states that planning permission will be granted to redevelop or change the use of land and buildings in an employment generating use provided the redevelopment or re-use of all employment generating land and premises would retain or increase the number of jobs permanently provided on the site, and result in wider regeneration benefits.
- 6.3. The existing employment use is relatively low-key employing 2 employees at present in 81m² of floor area. The proposal would replace this with a mixed use development providing 87.9m² of commercial (non-specified use) and 9 residential units. The proposed commercial space would therefore retain the number of jobs available at the site. It would redevelop an unattractive site currently underutilised with a more appropriate mixed use development which is better suited to the surrounding environment.
- 6.4. The scheme initially proposed to remove the employment floor but this was considered contrary to Saved UDP Policy EMP4 and pre-submission Development Management, Development Plan emerging Policies DM40 and was subsequently revised to amend two town houses to provide three flats and a commercial unit. It is noted that the commercial unit has not been proposed within any particular use class of the Schedule to the Use Classes Order. As a result of the site context and requirement for comparable levels of employment it is recommended on any grant of planning permission that a condition restricts this use to anything within B1 (business) use class. This would also protect the living amenity of occupants from the proposed residential units.
- 6.5. With regard to the provision of additional housing, Local Plan Policy SP1 sets out the council's strategic vision to provide up to 8,200 new homes by 2026, which aligns with the aspirations of Policy SP2 and emerging Policy DM10 of the Development Management, Development Plan Document (pre-submission version January 2016), which has a current target of providing 820 new homes a year in Haringey; which is likely to be increased to 1,502 under the London Plan (FALP) 2015'.
- 6.6. Therefore, the provision of housing and a commercial unit would in principle be supported as it would augment the Borough's housing stock and prevent the loss of employment floor space in accordance with UDP Policies HSG2 and EMP4, Local Plan Policies SP1 and SP2, emerging DMP Policies DM10, DM38 and DM40 and London Plan Policy 3.3.

Affordable housing / Section 106 legal magreement

- 6.7. The National Planning Policy Framework (NPPF, 2011) recognises that to create sustainable, inclusive and diverse communities, a mix of housing based on demographic and market trends and the needs of different groups should be provided. London Plan Policy 3.8 'Housing Choice' of the London Plan seeks to ensure that development schemes deliver a range of housing choices in terms of a mix of housing and types. This approach is continued in Haringey Local Plan SP2 Housing, which is supported by the Council's Housing SPD.
- 6.8. There is provision in the Council's adopted Planning Obligations SPD (2014) to allow for an off-site contribution on sites for 1 – 9 units where it would not be practicable to provide on-site affordable housing.
- 6.9. In November 2014, a ministerial statement directed all councils in England not to apply affordable housing contributions or any other tariff style contributions for sites of 10-units or less, and which have a maximum combined gross floorspace of no more than 1000sqm. The reason given was to support small-scale house builders. A judicial review of this decision by West Berkshire District Council and Reading Borough Council v Department for Communities and Local Government [2015] EWHC 2222 (Admin) (31 July 2015), concluded that Local Authorities are legally permitted to return to implementing local policies setting thresholds for affordable housing requirements on proposed developments.
- 6.10. The decision referred to above was appealed by the Department of Communities and Local Government in March 2016, with the appeal allowed (May 2016) meaning that the Government was not acting unlawfully when it created the stipulation in guidance that affordable housing should not be required on sites 10-units or less, and which have a maximum combined gross floorspace of no more than 1000sqm. This was restored to the guidance with the NPPG in May 2016. Although this proposed is for less than 10 residential units the floor space proposed is greater than 1,000m² and an affordable housing contribution is therefore required in accordance with Local Plan SP2 and the Planning Obligations SPD.
- 6.11. It is accepted that on sites of 1-9 net units it is not practical to provide affordable housing on site and therefore a financial contribution will be sought in this instance. The Council's Planning Obligations SPD (October 2014) sets out the rates for the provision of off-site financial contributions on sites of 1-9 net units which for the Bounds Green ward is £336 per m². The total contribution is 1130.2m² x £336 = £379,680.00. This contribution has been sought by way of a section 106 agreement.

Layout and standard of accommodation

- 6.12. London Plan 2015 Policy 3.5 'Quality and Design of Housing Developments' requires the design of all new housing developments to enhance the quality of local places and for the dwelling in particular to be of sufficient size and quality.

The standards by which this is measured are set out in the Mayor's Housing Standards Minor Alterations to the London Plan March 2016. The greater emphasis on securing high quality housing across London has been translated into Haringey Local Plan Policies SP2 and SP11 and Emerging Policy DM12 of the Development Management, Development Plan Document (pre-submission version Jan 2016).

- 6.13. The proposal would comprise 6 x 4 bedroom townhouses, 2 x 2 bed self-contained flats and 1 x 1 bed flat. All of the proposed units would meet the minimum standards set in the London Plan. Each unit proposed meets these minimum standards. The three self-contained flats are located above the proposed commercial unit at lower ground floor and will have appropriate vertical arrangement. The proposal is therefore considered to result in acceptable living conditions for future occupiers of the new development.
- 6.14. The townhouses all have access to private gardens to the rear with access from the lower ground floor through to the parking courtyard. There are also landscaped front gardens on the Torrington Gardens frontage for all units. The 2 x 2 bed flats each have private balconies. The smaller 1 bed unit does not have private amenity space but this is not a family unit and the site is a short walk to community open space so is considered acceptable given the constraints of the site. It is considered that all habitable rooms proposed have acceptable levels of daylight with dual aspect designs and suitable outlook in accordance with the above policies.
- 6.15. All the units will meet the Lifetime Homes standards; and will be easily adaptable for wheelchair users. A noise report as been provided which demonstrates that the noise levels at the dwellings would not exceed acceptable levels. Overall the proposal provides reasonable living conditions for prospective occupiers in accordance with London Plan Policy 3.5, Local Plan Policy SP2 and DMP emerging Policy DM12.

Design and density

Density

- 6.16. The density is relevant to whether the amount of development proposed is appropriate for a site. London Plan Policy 3.4 notes that the appropriate density for

a site is dependent on local context and character, its location and accessibility to local transport services. Policy 3.4 and Local Plan Policy SP2 require new residential development to optimise housing output for different types of location taking account of the guidance set out in the Density Matrix of the London Plan.

- 6.17. The site area is 0.1484 hectares - the surrounding area is considered to be urban, as defined in the London Plan 2015, and the site has a PTAL of 3. The density proposed is 60 units per hectare (9 units /0.1484 Ha) and 296 (44/ 0.1484) habitable rooms per hectare which complies with the 45–120 u/ha and 200–450 hr/ha set out in the London Plan. Therefore, it is considered that the scheme does not constitute an overdevelopment on the site and the quantum of units proposed is acceptable in its local setting, subject to all other material planning considerations being met.

Design

- 6.18. SPG1a 'Design guidance' in accordance with the expectations of the NPPF, saved UDP Policy UD3, emerging Policy DM1 of the Development Management, Development Plan Document (January 2016 pre-submission version), London Plan Policies 7.4 and 7.6, Local Plan Policy SP11, states that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use. Development shall be of the highest standard of design that respects its local context and character, to contribute to the creation and enhancement of Haringey's sense of place and identity.
- 6.19. The scheme has been amended following discussions with Haringey's design officer. The terrace design was amended to create a better relationship with this prominent corner location, particularly with the commercial unit at lower ground level. A more active frontage to Cline Road with the hipped roof design helps to reduce the perceived bulk of the whole terrace when viewed from lower Cline Road and Bounds Green Road. This acknowledgement of the corner identifies the scheme as a modern addition to this residential area without trying to directly replicate the terrace pattern seen to the south and east of the site. The terrace does retain some features of the surround area and respects the ridgeline heights and building lines of the surrounding terraces. The amended scheme is considered to be high quality design which is sympathetic to its setting and the surrounding development.
- 6.20. As such, the proposed terrace would not be harmful to the visual amenity of the surrounding area and it would, therefore, comply with the above policies.

The impact on the amenity of adjoining occupiers

- 6.21. The London Plan 2015 Policy 7.6 Architecture states that development must not cause unacceptable harm to the amenity of surrounding land and buildings. Saved

Policy UD3 and emerging Policy DM1 of the Development Management, Development Plan Document (January 2016 pre-submission version) also requires development not to have a significant adverse impact on residential amenity in terms of loss of daylight, or sunlight, privacy overlooking, aspect noise, pollution and of fume and smell nuisance.

- 6.22. The proposed development will align with the building envelope and depth of the existing terrace on Torrington Gardens and will generally conform to the height of the existing terrace ridge. There would be no loss of daylight or sunlight or an overbearing appearance for the existing residential properties so the east (Torrington Gardens) or to the north (Bounds Green Road). The separation distance (over 40m) between the rear gardens of the proposed development and the properties fronting Bounds Green Road is considered acceptable to prevent a significant loss of privacy to these properties. It is acknowledged that there is a change in level for the higher frontage to Torrington Gardens and dropping down to the lower levels at Bounds Green Road; however, the proposed development respects the existing relationship between the properties at different levels. Concerns have been raised regarding security as the plans submitted do not specify the boundary treatment proposed. The planning statement outlines that there will be a 2m high close boarded timber fence to the north and east boundaries and a condition is recommended to ensure that all boundary treatment ensures appropriate standards of privacy and security for neighbouring properties.
- 6.23. The properties located to the south, 33-43 Torrington Gardens, are positioned at a higher level than the proposed development. The proposed development will be two storeys facing these properties and will be no difference in relationship to the terrace properties located further along Torrington Gardens. It is not considered that there will be any material loss of sunlight / daylight, privacy, overlooking or outlook for these properties as a result of this development.
- 6.24. Two of the proposed units will benefit from private balconies to the rear elevation. The amended design for the scheme included these two balconies being moved closer to the Cline Road flank elevation to ensure that there would be no unacceptable loss of privacy or noise disturbance for the future occupants of the adjoining townhouse proposed. Concerns have been raised in relation to the impact of the construction works on neighbouring amenity. This is largely controlled through the Control of Pollution Act 1974 but a condition is attached requiring a dust management plan in the interests of amenity.
- 6.25. Overall the proposal is considered to be acceptable as there would be no material loss of amenity to neighbouring residents. A condition is attached restricting permitted development rights in the interest of design and the impact on neighbouring amenity.

Parking and highway safety

- 6.26. Local Plan (2013) Policy SP7 Transport states that the Council aims to tackle climate change, improve local place shaping and public realm, and environmental and transport quality and safety by promoting public transport, walking and cycling and seeking to locate major trip generating developments in locations with good access to public transport.
- 6.27. The Council's Transportation Team has been consulted and advised that the site is located at the junction of Cline Road and Torrington Gardens, to the north of the Borough, close to Bounds Green Road and the A406 North Circular Road. It has a PTAL value of 3 which is considered 'moderate' access to public transport services. Two bus services are within the walking criteria for PTAL calculations, they are 2 to 6 minutes walk away (the 221 and the 232) and Bounds Green Underground station is an 11 minute walk away. The site is not within any of Haringey's formal CPZ's, nor is it within any of the Areas of Restricted Conversion.
- 6.28. The Transport Assessment details that the existing garages (38 in total) are currently used for a mixture of workshop space, storage and car parking. It is detailed in the Transport Assessment that 5 garages are still used for car parking. It is not known whether this use is by local residents or not. There is a possibility that there may be some additional parking stress materialising from the loss of these 5 garages but the exact extent is likely to be negligible.
- 6.29. It is intended to retain the existing site access off Cline Road. However in order to create the new site access the applicant will need to enter into a Section 278 agreement with the Highway Authority. It can be seen that there is no footway tactile paving at the site access, and it will be necessary to carry out works to provide a crossing/access to the Borough's specification, to be funded by the developer. This can be covered by condition with the access point to be designed and implemented in accordance with the Highway Authority's requirements prior to occupation.
- 6.30. The car parking spaces are not within the immediate curtilage of the dwellings but are located within a courtyard area. It is assumed they will be allocated one to each property plus one is allocated to the commercial floor space. The policy requirements in relation to parking provision in the Borough's UDP policies detail a requirement of up to a maximum of 1.5 spaces per house (detached and semi detached). Census data from 2011 for the Bounds Green Ward details average car ownership of 0.59 cars per household. Therefore, the parking provision proposed should cater for the likely demand to arise, and by doing so will mean no additional parking stress results in the locality from the development. Considering the census figures for car ownership the demand could theoretically be met by 6 or 7 spaces however as presented there should not be any additional parking stress generated.

- 6.31. Currently 5 garages are in use mainly as storage – however there is no information as to whether these are local users, it has to be assumed that there may be an increase in on street parking demand of up to 5 spaces.
- 6.32. The cycle parking is also proposed for location in the courtyard area, the drawings detail 9 stores, it is expected that two spaces for each residential unit are able to be provided in each store. Ideally cycle parking is within curtilage for residential units; however this should be acceptable subject to the cycle parking being high quality, easy to use and secure and weatherproof. The full details of the intended system to be used and the storage containers proposed can be covered by condition to be approved prior to commencement of the works. It is not clear if cycle parking for the commercial unit is to be provided or not, there is not a policy requirement as the floor area is less than 100m² however ideally some should be provided.
- 6.33. Summarising, this application is for the demolition of the 38 existing garage units at the above site, and construction of 9 residential units and some commercial floorspace. The existing access is to be used however this will need to be brought up to the Haringey's standards with the costs to be met by the applicant. Car parking of one space per residential unit is proposed along with cycle parking to meet London Plan standards. As proposed the development should not create any adverse Transportation impacts and meets its demands for car and cycle parking within the site.

Waste storage

- 6.34. London Plan Policy 5.17 'Waste Capacity', Local Plan Policy SP6 'Waste and Recycling' and Saved UDP Policy UD7 'Waste Storage', require development proposals make adequate provision for waste and recycling storage and collection. The Council's waste management team have advised that there are no objections to the residential waste and recycling proposed ensuring the standard kerbside collection is provided, that collection is from Cline Rd and that the residential waste is kept separate from the commercial waste.
- 6.35. The commercial unit must ensure that all waste produced onsite is disposed of responsibly and in accordance with Environmental Protection Act 1990 by a licensed contractor. Waste storage is shown to the rear of each dwelling and a collection point provided close to Cline Road.
- 6.36. Subject to appropriate conditions regarding the separate residential and commercial waste and recycling systems there is no objection to the proposed development.

Sustainability

- 6.37. The NPPF and London Plan Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10 and 5.11, and Local Plan Policy SP4 sets out the approach to climate change and requires developments to meet the highest standards of sustainable design, including the conservation of energy and water; ensuring designs make the most of natural systems and the conserving and enhancing the natural environment. The London Plan requires all new homes to achieve a 35 per cent carbon reduction target beyond Part L 2013 of the Building Regulations (this is deemed to be broadly equivalent to the 40 per cent target beyond Part L 2010 of the Building Regulations, as specified in Policy 5.2 of the London Plan for 2015).
- 6.38. The applicant's revised energy statement outlines that the energy hierarchy set out within the London Plan has been followed for this development to firstly reduce the energy demand by the incorporation of improved insulation and efficient systems before the incorporation of decentralised and renewable technologies. The proposal will incorporate energy efficiency measures and 9.75 kWp of solar panels, and meets the 35% London Plan of target reduction.

Drainage

- 6.39. London Plan (2015) Policy 5.13 'Sustainable drainage', Development Management, Development Plan Document (pre-submission version January 2016) emerging Policy DM25 'Sustainable Drainage Systems', Local Plan (2013) Policy SP5 'Water Management and Flooding' require developments to utilise sustainable urban drainage systems (SUDS) unless there are practical reasons for not doing so, and aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible in line with the following drainage hierarchy:
1. store rainwater for later use
 2. use infiltration techniques, such as porous surfaces in non-clay areas
 3. attenuate rainwater in ponds or open water features for gradual release
 4. attenuate rainwater by storing in tanks or sealed water features for gradual release
 5. discharge rainwater direct to a watercourse
 6. discharge rainwater to a surface water sewer/drain
 7. discharge rainwater to the combined sewer
- 6.40. They also require drainage to be designed and implemented in ways that deliver other policy objectives, including water use efficiency and quality, biodiversity, amenity and recreation. Further guidance on implementing Policy 5.13 is provided in the Major's Sustainable Design and Construction SPG (2014) including how to design a suitable SuDS scheme for a site. The SPG advises that if Greenfield runoff rates are not proposed, developers will be expected to clearly demonstrate how all opportunities to minimise final site runoff, as close to Greenfield rate as practical, have been taken. This should be done using calculations and drawings appropriate to the scale of the application. On previously developed sites, runoff rates should not be more than three times the calculated Greenfield rate. The SPG

also advises that drainage designs incorporating SuDS measures should include details of how each SuDS feature, and the scheme as a whole, will be managed and maintained throughout its lifetime.

- 6.41. The applicant has provided a drainage strategy which states that the proposal will utilise SUDS and conform to the London Plan hierarchy. The Council's SUDs officer has not been provided sufficient information to be satisfied that methodology of the strategy has been designed to achieve allowable thresholds and is therefore subject to further details regarding the proforma determination, a management and maintenance plan for the lifetime of the development, management by the Residents Management Company or other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime. This will be secured by appropriate conditions.
- 6.42. The proposal will therefore provide sustainable drainage and will not increase floor risk in accordance with London Plan (2015) Policy 5.13, Development Management, Development Plan Document (pre-submission version January 2016) emerging Policy DM25, and Local Plan (2013) Policy SP5.

Conclusion

- 6.43. The proposal would retain current levels of employment provision and assist provision of additional housing. The proposal is a high quality sustainable design that respects the surrounding development and will not have a significant impact on neighbouring properties or result in overdevelopment. The proposal would not adversely impact on parking, highway safety or drainage.
- 6.44. Therefore, subject to the imposition of conditions and the signing of a section 106 legal agreement securing financial contributions and other relevant clauses, the planning application for the proposed development is recommended for approval.
- 6.45. All other relevant policies and considerations, including equalities, have been taken into account. Planning permission should be granted for the reasons set out above. The details of the decision are set out in the RECOMMENDATION.

7. CIL

- 7.1. Based on the information given on the plans, the Mayoral CIL charge will be £39,550.00 ($1,130\text{m}^2 \times £35$ as up-rated for inflation $\times 1.229$) and the Haringey CIL charge will be £186,450.00 ($1,130\text{m}^2 \times £165$ as up-rated for inflation $\times 1.054$). This will be collected by Haringey after/should the scheme is/be implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the construction costs index. An informative will be attached advising the applicant of this charge.

8. RECOMMENDATIONS

GRANT PERMISSION subject to conditions and subject to sec. 106 Legal Agreement

Applicant's drawing No.(s) PAR-199-SUR-001, Lifetime Homes Assessment, Ecology Appraisal, Transport Statement v2, Planning Statement, Viability Report, 1341/1, GS-2440995 Radon Report, GS-2440996 Site Contamination Report, GS-2440997 small scale report and GS 2440997 large scale report received 15/02/16, PAR-199-PA-102B Drainaged Sustainability Report Rev B and Air Quality Report received 01/06/16, Energy Statement Rev A received 26/06/16, and PAR-199-PA-101E, PAR-199-PA-100D and PAR-199-PA-001D received 11/07/16

Subject to the following condition(s)

1. The development hereby authorised must be begun not later than the expiration of 3 years from the date of this permission, failing which the permission shall be of no effect.

Reason: This condition is imposed by virtue of the provisions of the Town and Country Planning Act 1990 and to prevent the accumulation of unimplemented planning permissions.

2. Notwithstanding the information submitted with the application, the development hereby permitted shall only be built in accordance with the following approved plans:

PAR-199-SUR-001, Lifetime Homes Assessment, Ecology Appraisal, Transport Statement v2, Planning Statement, Viability Report, 1341/1, GS-2440995 Radon Report, GS-2440996 Site Contamination Report, GS-2440997 small scale report and GS 2440997 large scale report received 15/02/16, PAR-199-PA-102B Drainaged Sustainability Report Rev B and Air Quality Report received 01/06/16, Energy Statement Rev A received 26/06/16, and PAR-199-PA-101E, PAR-199-PA-100D and PAR-199-PA-001D received 11/07/16

Reason: To avoid doubt and in the interests of good planning.

3. Prior to commencement, a Construction Management Plan (CMP) and Construction Logistics Plan (CLP) shall be submitted to, approved in writing by the Local planning Authority and implemented accordingly thereafter. The Plans should provide details on how construction work would be undertaken in a manner that disruption to traffic and pedestrians on Cline Road and the roads surrounding the site is minimised. The construction vehicle movements shall be carefully planned and co-ordinated to avoid the AM and PM peak periods.

Reason: To reduce congestion and mitigate any obstruction to the flow of traffic on the transportation network.

4. Before development commences other than for investigative work:
- a) A desktop study shall be carried out which shall include the identification of previous uses, potential contaminants that might be expected, given those uses, and other relevant information. Using this information, a diagrammatical representation (Conceptual Model) for the site of all potential contaminant sources, pathways and receptors shall be produced. The desktop study and Conceptual Model shall be submitted to the Local Planning Authority. If the desktop study and Conceptual Model indicate no risk of harm, development shall not commence until approved in writing by the Local Planning Authority.
 - b) If the desktop study and Conceptual Model indicate any risk of harm, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. This shall be submitted to, and approved in writing by, the Local Planning Authority prior to that investigation being carried out on site. The investigation must be comprehensive enough to enable:-
 - a risk assessment to be undertaken,
 - refinement of the Conceptual Model, and
 - the development of a Method Statement detailing the remediation requirements.

The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority for written approval.
 - c) If the risk assessment and refined Conceptual Model indicate any risk of harm, a Method Statement detailing the remediation requirements, using the information obtained from the site investigation, and also detailing any post remedial monitoring shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.

Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority, before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety in accordance with Policy 5.21 of the London Plan 2015 and Saved Policy UD3 of the Haringey UDP.

5. Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority, before the development is occupied.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety in accordance with Policy 5.21 of the London Plan 2015 and Saved Policy UD3 of the Haringey Unitary Development Plan.

6. No impact piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to impact on local underground sewerage utility infrastructure. The applicant is advised to contact Thames Water Developer Services on 0800 009 3921 to discuss the details of the piling method statement.

7. No works shall be carried out on the site until a Dust Management Plan (DMP), detailed the management of demolition and construction dust, has been submitted and approved by the LPA and thereafter the development shall only be implemented and carried out in accordance with the approved DMP.

Reason: As required by the London Plan 2015 Policy 7.14.

8. Prior to the commencement of any works the site or Contractor Company is to register with the Considerate Constructors Scheme. Proof of registration must be sent to the LPA.

Reason: As required by the London Plan 2015 Policy 7.14.

9. Prior to installation details of the gas boilers to be provided for space heating and domestic hot water should be forwarded to the Local Planning Authority. The boilers to be provided for space heating and domestic hot water shall have dry Nox emissions not exceeding 40 mg/kWh (0%).

Reason: As required by London Plan 2015 Policy 7.14.

10. The development hereby permitted shall be built in accordance with the approved renewable energy statement and the energy provision shall be thereafter retained in perpetuity unless agreed in writing by the Local Planning Authority.

Reason: To ensure that a proportion of the energy requirement of the development is produced by on-site renewable energy sources to comply with Policy 5.7 of the London Plan 2015, emerging Policy DM21 of the DM,DMP (pre-submission version January 2016), and Policies SP0 and SP4 of the Local Plan 2013.

11. Details of a scheme for the storage and collection of refuse from the hereby approved commercial unit shall be submitted to and approved by the Local Planning Authority prior to the commencement of the use. The approved scheme shall be implemented and permanently retained to the satisfaction of the Local Planning Authority prior to the commencement of the commercial use.

Reason: In order to protect the amenities of the locality and to comply with Saved Policy UD7 of the Haringey UDP 2006 and Policy 5.17 of the London Plan 2015.

12. No development shall take place until a detailed surface water drainage scheme for Site, which is based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development, has been submitted to and approved in writing by the local planning authority. The drainage strategy should demonstrate the surface water run-off generated up to and including the 1 in 100 year plus 40% for climate change critical storm will not exceed the run-off from the undeveloped site following the corresponding rainfall event. The scheme shall include details of its maintenance and management after completion and shall subsequently be implemented in accordance with the approved details before the development on Site is occupied.

Reason: Mechanism for the detailed drainage proposals to be approved as the scheme is developed.

13. No construction works (excluding demolition) shall commence until further details of the design methodology, implementation, maintenance and management of the sustainable drainage scheme have been submitted & approved in writing by the Local planning Authority. Details shall include:-

(a) Methodology and reasoning for SuDS flows and volumes proforma determination enabling full assessment that the allowable thresholds have been achieved have been submitted to and approved in writing by the Local Planning Authority.

(b) Management and maintenance plan for the lifetime of the development, management by Residents Management Company or other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime a

scheme of surface water drainage works including an appropriate maintenance regime have been submitted to and approved in writing by the Local Planning Authority. The sustainable drainage scheme shall be constructed in accordance with the approved details and thereafter retained.

Reason: To promote a sustainable development consistent with Policies SP0, SP4 and SP6 of the Haringey Local Plan 2013 and emerging Policy DM25 of the DM,DMP (pre-submission version January 2016).

14. Notwithstanding the information submitted with this application, no development shall take place until precise details of the external materials to be used in connection with the development hereby permitted be submitted to, approved in writing by and implemented in accordance with the requirements of the Local Planning Authority and retained as such in perpetuity.

Reason: In order to retain control over the external appearance of the development in the interest of the visual amenity of the area and consistent with Policy SP11 of the Haringey Local Plan 2013 and Saved Policy UD3 of the Haringey UDP 2006.

15. Details of the proposed boundary treatment shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development. The approved boundary treatment shall thereafter be installed prior to occupation of any new residential unit.

Reason: In the interest of the visual amenity of the area and residential amenities of neighbouring occupiers.

16. Details of a scheme depicting those areas to be treated by of hard and soft landscaping shall be submitted to, approved in writing by the Local Planning Authority and thereafter implemented in accordance with the approved details. Any trees which die within a period of 5 years from the completion of the development; are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In order to provide a suitable setting for the proposed development in the interests of visual amenity of the area.

17. The cycle parking facilities shown on the approved plans shall be provided prior to first occupation of the dwellings hereby approved and permanently retained thereafter to the satisfaction of the Local Planning Authority.

Reason: To promote sustainable modes of transport in accordance with Policies 6.1 and 6.9 of the London Plan 2015 and Policy SP7 of the Haringey Local Plan 2013.

18. Prior to first occupation of the development, hereby approved, a survey report on the electricity sub-station shall be submitted to and approved in writing by the Local Planning Authority. The report shall include an assessment of the associated electromagnetic field and noise generated by the sub-station, by reference to relevant standards Planning Officer Delegated Report and studies, and any mitigation measures that may be required. Thereafter all works shall be carried out in accordance with the details approved.

Reason: To ensure the development can be implemented and occupied with adequate regard for environmental and public safety in accordance with Policy 5.21 of the London Plan 2015 and Saved Policy UD3 of the Haringey UDP.

19. Notwithstanding the provisions of the the Town and Country Planning (General Permitted Development) (England) Order 2015, or any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order, the commercial unit shall be used as a B1 business use only and shall not be used for any other purpose unless approval is obtained to a variation of this condition through the submission of a planning application.

Reason: In order to restrict the use of the premises to one compatible with the surrounding area because other uses within the same Use Class or another Use Class are not necessarily considered to be acceptable consistent with Saved Policy UD3 of the Haringey UDP 2006.

20. Notwithstanding the provisions of the the Town and Country Planning (General Permitted Development) (England) Order 2015 or any Order revoking or re-enacting that Order, no roof extensions, or rear extensions shall be carried out without the grant of planning permission having first been obtained from the Local Planning Authority.

Reason: To safeguard the visual amenities of the area and to prevent overdevelopment of the site by controlling proposed extensions and alterations consistent with Policy 7.4 of the London Plan 2015 and Saved Policy UD3 of the Haringey UDP 2006.

21. The development hereby permitted shall not be occupied until such time as the existing crossover has been removed and the footway reconstructed. The necessary works to re-construct the footways will be carried out by the Council at the applicant's expense once all the necessary internal site works have been completed.

Reason: To safeguard the integrity of the local highways network, facilitate travel by sustainable mode of transport in particular by pedestrians.

22. All residential units within the proposed development shall be designed to Part M4 (2) 'accessible and adaptable dwellings' of the Building Regulations 2010 (as amended) (formerly Lifetime Homes Standard) unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure that the proposed development meets the Council's Standards in relation to the provision of wheelchair accessible homes and to comply with Haringey Local Plan 2013 Policy SP2 and the London Plan 2015 Policy 3.8.

INFORMATIVE : In dealing with this application, Haringey Council has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) (Amendment No.2) Order 2012 to foster the delivery of sustainable development in a positive and proactive manner.

INFORMATIVE: Land Ownership

The applicant is advised that this planning permission does not convey the right to enter onto or build on land not within his ownership.

INFORMATIVE: Hours of Construction Work

The applicant is advised that under the Control of Pollution Act 1974, construction work which will be audible at the site boundary will be restricted to the following hours:-

8.00am - 6.00pm	Monday to Friday
8.00am - 1.00pm	Saturday
and not at all on Sundays and Bank Holidays.	

INFORMATIVE: Party Wall Act

The applicant's attention is drawn to the Party Wall Act 1996 which sets out requirements for notice to be given to relevant adjoining owners of intended works on a shared wall, on a boundary or if excavations are to be carried out near a neighbouring building.

INFORMATIVE : Community Infrastructure Levy

The applicant is advised that the proposed development will be liable for the Mayor of London and Haringey CIL. Based on the information given on the plans, the Mayor's CIL charge will be £39,550.00 (1,130m² x £35 as up-rated for inflation x 1.229) and the Haringey CIL charge will be £186,450.00 (1,130m² x £165 as up-rated for inflation x 1.054). This will be collected by Haringey after the scheme is implemented and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the construction costs index.

INFORMATIVE: The new development will require numbering. The applicant should contact the Local Land Charges team at least six weeks before the development is occupied (tel. 020 8489 5573) to arrange for the allocation of a suitable address.

INFORMATIVE : The London Fire Brigade strongly recommends that sprinklers are considered for new developments and major alterations to existing premises, particularly where the proposals relate to schools and care homes. Sprinkler systems installed in buildings can significantly reduce the damage caused by fire and the consequential cost to businesses and housing providers, and can reduce the risk to life. The Brigade opinion is that there are opportunities for developers and building owners to install sprinkler systems in order to save money, save property and protect the lives of occupier.

INFORMATIVE :With regards to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water course, or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777.

INFORMATIVE: Legal changes under The Water Industry (Scheme for the Adoption of private sewers) Regulations 2011 mean that the sections of pipes you share with your neighbours, or are situated outside of your property boundary which connect to a public sewer are likely to have transferred to Thames Water's ownership. Should your proposed building work fall within 3 metres of these pipes we recommend you contact Thames Water to discuss their status in more detail and to determine if a building over / near to agreement is required. You can contact Thames Water on 0800 009 3921 or for more information please visit our website at www.thameswater.co.uk

INFORMATIVE: A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing wwriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality."

INFORMATIVE: Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

INFORMATIVE: Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.

Appendix 1 Consultation responses from internal and external agencies and neighbouring properties

Stakeholder	Question/Comment	Response
INTERNAL		
Transportation	<p>This application is for Demolition of the existing lock- up garages, and construction of 9 residential units (comprising 6 x 4 bed town houses, 2 x 2 bed flats, and 1 x 1 bed flat) and 87.9sq metres of commercial floor area with associated access road/courtyard, parking area (10 parking spaces in total) and cycle stores (18 cycle parking spaces).</p> <p>The site is located at the junction of Cline Road and Torrington Gardens, to the north of the Borough, close to Bounds Green Road and the A406 North Circular Road. It has a PTAL value of 3 which is considered 'moderate' access to public transport services. Two bus services are within the walk criteria for PTAL calculations, they are 2 to 6 minutes walk away (the 221 and the 232) and Bounds Green Underground station is an 11 minute walk away. The site is not within any of Haringey's formal CPZ's, nor is it within any of the Areas of Restricted Conversion.</p> <p>The Transport Assessment details that the existing garages (38 in total) are currently used for a mixture of workshop space, storage and car parking. It is detailed in the TA (Appendix E) that 5 garages are still used for car parking. It is not known whether this use is by local residents or not. There is a possibility that there may be some additional parking stress materialising from the loss of these 5 garages but the exact extent is likely to be negligible.</p> <p>It is intended to retain the existing site access off Cline Road. However in order to create the new site access the applicant will need to enter into a Section 278 agreement with the Highway Authority. Looking at the record on Google Earth, it can be seen that there is no footway tactile paving at the site access, and it will be necessary to carry out works to provide a crossing/access to the Borough's specification, to be funded by the developer. This can be covered by condition with the access point to be designed and implemented in accordance with the Highway Authority's requirements prior to occupation.</p>	Noted and applicable conditions recommended

Stakeholder	Question/Comment	Response
	<p>The car parking spaces are not within curtilage but are located within a courtyard area. It is assumed they will be allocated one to each property plus one is allocated to the commercial floor space. The policy requirements in relation to parking provision in the Borough's retained UDP policies detail a requirement of up to a maximum of 1.5 spaces per house (detached and semi detached). Census data from 2011 for the Bounds Green Ward details average car ownership of 0.59 cars per household. Therefore the Parking provision proposed should more than cater for the likely demand to arise, and by doing so will mean no additional parking stress results in the locality from the development. Considering the census figures for car ownership the demand could theoretically be met by 6 or 7 spaces however as presented there should not be any additional parking stress generated.</p> <p>It is detailed 5 garages are in use – however there is no information as to whether these are local users, it has to be assumed that there may be an increase in on street parking demand of up to 5 spaces.</p> <p>The cycle parking is also proposed for location in the courtyard area, the drawings detail 9 stores, it is expected that two spaces for each residential unit are able to be provided in each store. Ideally cycle parking is within curtilage for residential units, however this should be acceptable subject to the cycle parking being high quality, easy to use and of course secure and weatherproof. The full details of the intended system to be used and the storage containers proposed can be covered by condition to be approved prior to commencement of the works. It is not clear if cycle parking for the commercial unit is to be provided or not, there is not a policy requirement as the floor area is less than 100 sqm however ideally some should be provided.</p> <p>Summarising, this application is for the demolition of the 38 existing garage units at the above site, and construction of 9 residential units and some commercial floorspace. The existing access is to be used however this will need to be brought up to the Haringey's standards with the costs to be met by the applicant. Car parking of one space per residential unit is proposed along with cycle parking to meet London Plan standards. As proposed the development should not create any adverse Transportation impacts and meets its demands</p>	

Stakeholder	Question/Comment	Response
Carbon Management	<p>for car and cycle parking within the site.</p> <p>The energy statement would meet the London Plan requirements. A condition should ensure that they should deliver the energy strategy as set out and that any alterations need to be approved by the Council prior to installation.</p>	Noted and condition attached.
EH Pollution	<p><u>CON1:</u></p> <p>Before development commences other than for investigative work:</p> <p>a) A desktop study shall be carried out which shall include the identification of previous uses, potential contaminants that might be expected, given those uses, and other relevant information. Using this information, a diagrammatical representation (Conceptual Model) for the site of all potential contaminant sources, pathways and receptors shall be produced. The desktop study and Conceptual Model shall be submitted to the Local Planning Authority. If the desktop study and Conceptual Model indicate no risk of harm, development shall not commence until approved in writing by the Local Planning Authority.</p> <p>b) If the desktop study and Conceptual Model indicate any risk of harm, a site investigation shall be designed for the site using information obtained from the desktop study and Conceptual Model. This shall be submitted to, and approved in writing by the Local Planning Authority prior to that investigation being carried out on site. The investigation must be comprehensive enough to enable:-</p> <ul style="list-style-type: none"> ▪ a risk assessment to be undertaken, ▪ refinement of the Conceptual Model, and ▪ the development of a Method Statement detailing the remediation requirements. <p>The risk assessment and refined Conceptual Model shall be submitted, along with the site investigation report, to the Local Planning Authority.</p> <p>c) If the risk assessment and refined Conceptual Model indicate</p>	Noted, conditions and informative attached

Stakeholder	Question/Comment	Response
	<p>any risk of harm, a Method Statement detailing the remediation requirements, using the information obtained from the site investigation, and also detailing any post remedial monitoring shall be submitted to, and approved in writing by, the Local Planning Authority prior to that remediation being carried out on site.</p> <p><u>And CON2 :</u></p> <p>Where remediation of contamination on the site is required completion of the remediation detailed in the method statement shall be carried out and a report that provides verification that the required works have been carried out, shall be submitted to, and approved in writing by the Local Planning Authority before the development is occupied.</p> <p>Reason</p> <p>To ensure the development can be implemented and occupied with adequate regard for environmental and public safety.</p> <p>Electricity Sub-station:</p> <p>Prior to commencement of the development, a survey report on the electricity sub-station and associated electro-magnetic field and humming noise. The report shall include any mitigation measures that may be required, as well as predicted electro-magnetic levels in the adjoining residential, by reference to relevant standards and studies. The report and any mitigation required will be subject to the approval of the Local Planning Authority.</p> <p>Construction Dust</p> <p>No works shall be carried out on the site until a Dust Management Plan (DMP), detailed the management of demolition and construction dust, has been submitted and approved by the LPA. Reason: As required by The London Plan Policy 7.14.</p> <p>Prior to the commencement of any works the site or Contractor Company is to register with the Considerate Constructors Scheme. Proof of registration must be sent to the LPA. Reason: As required by The London Plan Policy 7.14.</p>	

Stakeholder	Question/Comment	Response
	<p>Combustion and Energy Plant: Prior to installation details of the gas boilers to be provided for space heating and domestic hot water should be forwarded to the Local Planning Authority. The boilers to be provided for space heating and domestic hot water shall have dry Nox emissions not exceeding 20 mg/kWh (0%). Reason: As required by The London Plan Policy 7.14.</p> <p>As an informative: Prior to demolition of existing buildings, an asbestos survey should be carried out to identify the location and type of asbestos containing materials. Any asbestos containing materials must be removed and disposed of in accordance with the correct procedure prior to any demolition or construction works carried out.</p>	
Waste Management	<p>This proposed application will require adequate provision for refuse and recycling off street at the front of the property from Cline Road. Provided that space is provided for one 'standard kerbside collection full set' for this property then the plans are adequate.</p> <p>There must be a management in place to ensure residential waste is placed out for collection in the designated waste collection area. Arrangements will need to be made to ensure waste is contained at all times. Provision will need to be made for storage of receptacles within the property boundary not on the public highway.</p> <p>Any commercial waste must be kept separate from residential waste. Arrangements for a scheduled waste collection with a Commercial Waste Contractor will be required. The business owner will need to ensure that they have a cleansing schedule in place and that all waste is contained at all times.</p>	Noted and appropriate conditions recommended
Surface Water and Drainage Engineer	The Council's SUDs officer has not been provided sufficient information to be satisfied that methodology of the strategy has been designed to achieve allowable thresholds and is therefore subject to further details regarding the proforma determination, a management and maintenance plan for the lifetime of the development, management by the Residents Management Company or other	Noted, conditions attached

Stakeholder	Question/Comment	Response
	arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime.	
EXTERNAL		
Designing Out Crime	As the development is less than ten residential units the MPS Designing Out Crime Group will not make any official comment, as the size of the development is not in our official remit.	Noted
London Fire Brigade	Is satisfied with the proposal, recommends that an informative is attached related to sprinklers.	Noted, informative attached.
Thames Water	<p>Surface Water Drainage - With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0800 009 3921. Reason - to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.</p> <p>Legal changes under The Water Industry (Scheme for the Adoption of private sewers) Regulations 2011 mean that the sections of pipes you share with your neighbours, or are situated outside of your property boundary which connect to a public sewer are likely to have transferred to Thames Water's ownership. Should your proposed building work fall within 3 metres of these pipes we recommend you contact Thames Water to discuss their status in more detail and to determine if a building over / near to agreement is required. You can contact Thames Water on 0800 009 3921 or for more information please visit our website at www.thameswater.co.uk</p> <p>Thames Water would advise that with regard to sewerage infrastructure capacity, we would not have any objection to the above planning application.</p> <p>No impact piling shall take place until a piling method statement</p>	Noted, conditions and informatives attached.

Stakeholder	Question/Comment	Response
	<p>(detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement. Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to impact on local underground sewerage utility infrastructure. The applicant is advised to contact Thames Water Developer Services on 0800 009 3921 to discuss the details of the piling method statement.</p> <p>'We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Groundwater discharges typically result from construction site dewatering, deep excavations, basement infiltration, borehole installation, testing and site remediation. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. Should the Local Planning Authority be minded to approve the planning application, Thames Water would like the following informative attached to the planning permission:"A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing wwqriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk/wastewaterquality."</p> <p>On the basis of information provided, Thames Water would advise that with regard to water infrastructure capacity, we would not have any objection to the above planning application.</p>	

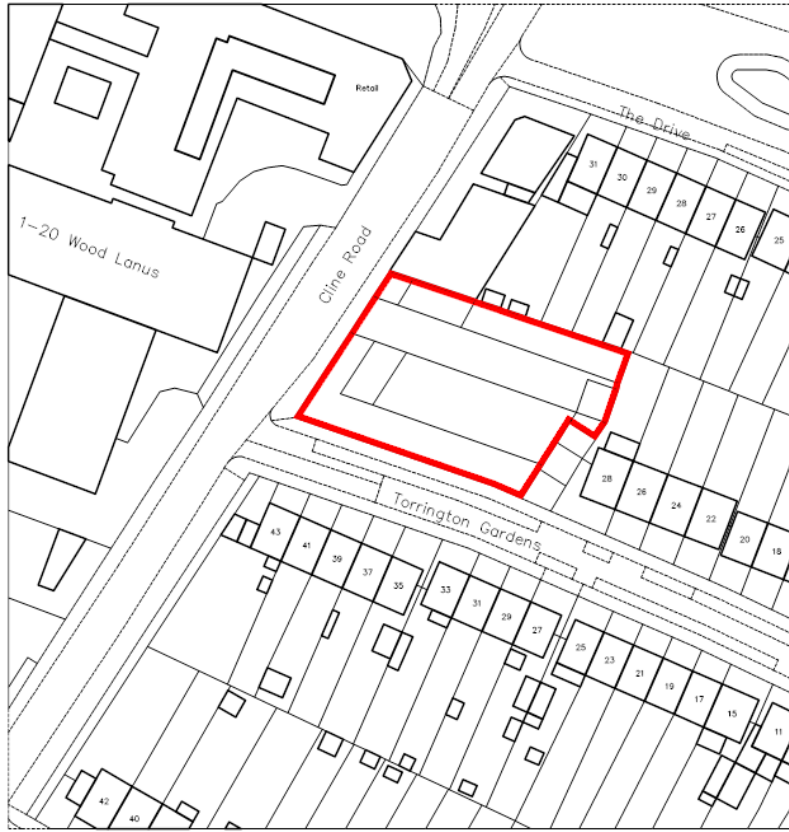
Stakeholder	Question/Comment	Response
	<p>Thames Water recommend the following informative be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.</p>	
<p>NEIGHBOURING PROPERTIES</p>	<p>Support:</p> <ul style="list-style-type: none"> - Development will be an improvement on the lock ups for the area <p>Neither:</p> <ul style="list-style-type: none"> - No. 28 Torrington Gardens has approved plans for development adjoining so current terrace profile will not remain. - Our property backs onto the Cline Road garages where the new development is proposed. While we don't object to the development we would insist that it does not affect the security of our property. <p>Our only concern is once the garages are knocked down I can't see a new boundary wall in the plans provided. I feel it is only fair that if the boundary wall is demolished it must be replaced with a new wall to provide the same security and privacy as what we have had surrounding our property for many years.</p> <p>Can you please ensure that these comments are enforced and the security of our property is maintained?</p> <p>Objection:</p> <ul style="list-style-type: none"> - We believe that the proposed development will have a negative impact as it will block light to property and we believe we have a "right to light" <p>These proposed houses are going to be taller than the existing surrounding houses (or they look like they will be). Therefore they will be an eye sore. At the moment nobody overlooks us from the front and our privacy will be affected because we will be overlooked.</p> <p>It will block the view we have enjoyed for 50 years.</p> <ul style="list-style-type: none"> - On reflection I do not agree that the proposed development 	<p>Noted</p> <p>Noted</p> <p>2m closed board timber fence is proposed to replace boundary wall.</p> <p>Considered that separation distance will not block light in an unacceptable manner.</p>

Stakeholder	Question/Comment	Response
	<p>is an enhancement to the area. While the application states that only 5 of the garages are used for parking, it appears as a local resident that more that that may be currently used for parking. With the amount of dwellings proposed, it does not appear that the developers have accounted for any visitor parking, or a reasonable amount of parking for the amount of occupants.</p> <p>Having lived in the areas for 8 years I have never seen the site being used in this manner (anti-social behaviour), and I regularly allow my 7,9 and 12 year old children to walk past the site on their way to the local store. I therefore believe that you are being misled as to the nature of the site by the applicants.</p> <p>The applicants have also failed to landscape the site or provide any significant green space as part of the application. The houses fronting Torrington Gardens don't appear to fit with the current houses and lack the pleasant front gardens that are abundant in the road.</p> <p>The application also appears to lack any specific reference to allow for the development to meet any specific housing need, or provide any affordable housing for the area.</p> <ul style="list-style-type: none"> - The current application does not have enough parking and is too high density for the area. It should be rejected as it stands so the applicant can consider applying for a less dense development, with more parking. - I do not object to the proposal, however I do have concerns about the amount of noise, dust and general disturbance from the works. My flat in Gean court overlooks the entrance to Gean Court, and the existing garage, and will be directly affected by noise and dust / pollution. I would ask that EXTREME measures are taken by the construction 	<p>Proposed terrace will be similar in ridge height to existing terrace on Torrington Gardens and relationship will be same as Torrington Gardens properties further to east.</p> <p>Private views are not material considerations.</p> <p>Transportation Officer does not object to this scheme.</p> <p>The presence or absence of anti-social behaviour is not a consideration for the principle acceptance for this site change of use.</p> <p>Small front gardens are shown to the frontage on Torrington Gardens and in addition a condition is recommended for landscaping to be provided.</p> <p>Affordable housing is to be obtained by way of a s106 legal agreement.</p> <p>Density levels are in accordance with the London Plan density matrix and parking levels are in accordance with the policy requirements.</p> <p>Construction period disturbance is controlled to acceptable levels by appropriate conditions to mitigate dust and traffic etc.</p>

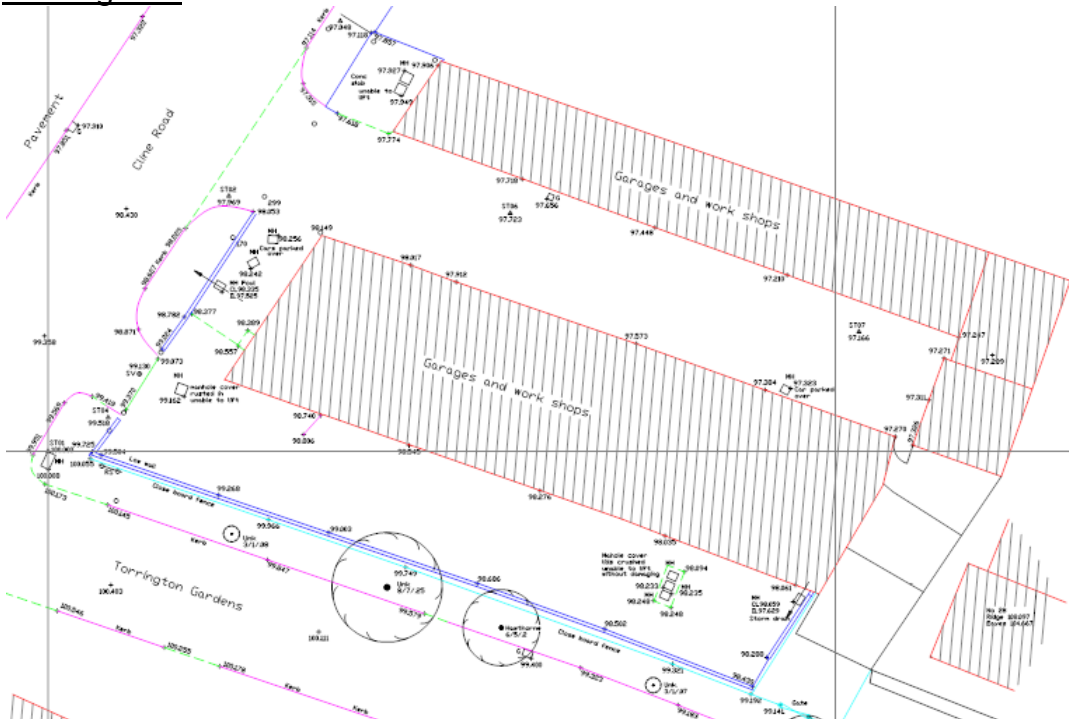
Stakeholder	Question/Comment	Response
	<p>company to contain dust, and keep noise to the minimum. I work from home during the week, so will be affected. There are many people in the block during the week, either working or families with young children, so it cannot be assumed that it is acceptable to make excessive noise at any time.</p>	

Appendix 2 Plans and Images

Location Plan:



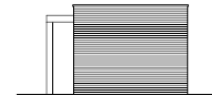
Existing site:



Proposed cycle storage:



FRONT ELEVATION



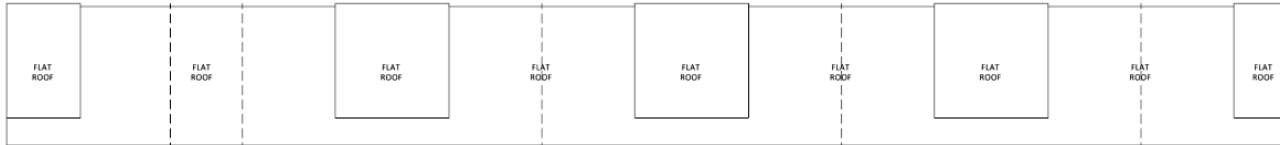
SIDE ELEVATION



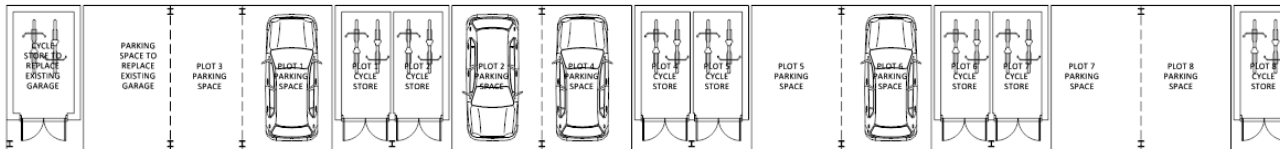
REAR ELEVATION



SIDE ELEVATION



ROOF PLAN



GROUND FLOOR PLAN

1:100

B	19.05.16	PARKING SPACE ADDED
A	09.02.16	ROOF AMENDED

↑ REVISIONS

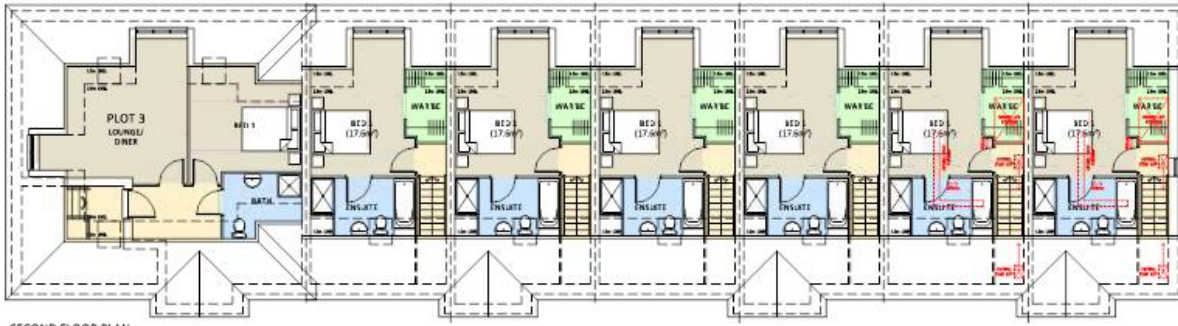
MSQUARE
architects ltd
LEISFHOUSE, 27 ABBEY STREET, MARKET HARBOUROUGH
LEICESTERSHIRE, LE16 9AA - TEL. 01858 410915
www.msquarearchitects.com

CLIENT	JW CLINE ROAD LTD
PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT

Proposed site layout:



Proposed ground plans:



SECOND FLOOR PLAN

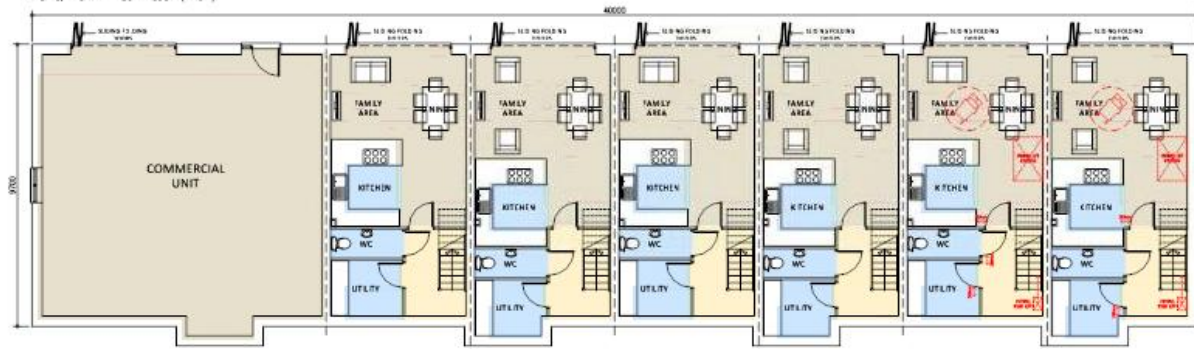


FIRST FLOOR PLAN



GROUND FLOOR PLAN

COMMERCIAL UNIT - 87.5m² (940)
PLOTS 1 & 2 - 2 BED FLAT - 72.3m² (778m²)
PLOT 3 - 3 BED FLAT - 48.4m² (521m²)
PLOTS 4, 6 & 8 - 4 BED HOUSE - 351.9m² (1857m²)
PLOTS 5, 7 & 9 - 4 BED HOUSE - 358.5m² (1708m²)



LOWER GROUND FLOOR PLAN

Existing photos:



As viewed from Cline Rd



Rd/Torrington Gardens junction

As viewed from Cline



As viewed from centre of site looking back towards Cline Rd

Planning Sub Committee Item No.

REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE

1. APPLICATION DETAILS

Reference No: Stopping up order **Ward:** Tottenham Hale

Address: Tottenham Hale Station Station Road N17 9LR

Proposal: Stopping up order to facilitate installation of a row of 6 temporary retail units for A1 and A3 uses which was granted Planning Permission on 10th August 2015 for use until 31 December 2017, plus associated works.

Applicant: Transport for London

Ownership: Private/Council/Homes for Haringey

Case Officer Contact: Malcolm Smith

Site Visit Date: N/A

Date received: N/A **Last amended date:** N/A

Drawing number of plans: A-619-010, A-619-011, A-619-012, A-619-021, A-619-030, A-619-031, A-619-040, A-619-041, A-619-042, A-619-051, A-619-060, A-619-061, A-619-062, A-619-063 & A-619-064

1.1 The Council's constitution does not include delegation for stopping up orders that are made separate to the grant of planning permission. See paragraph 2.3 for future 'stopping up order' applications.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- Contribution to the regeneration of the area
- Enabling development in context of implementing the planning consent

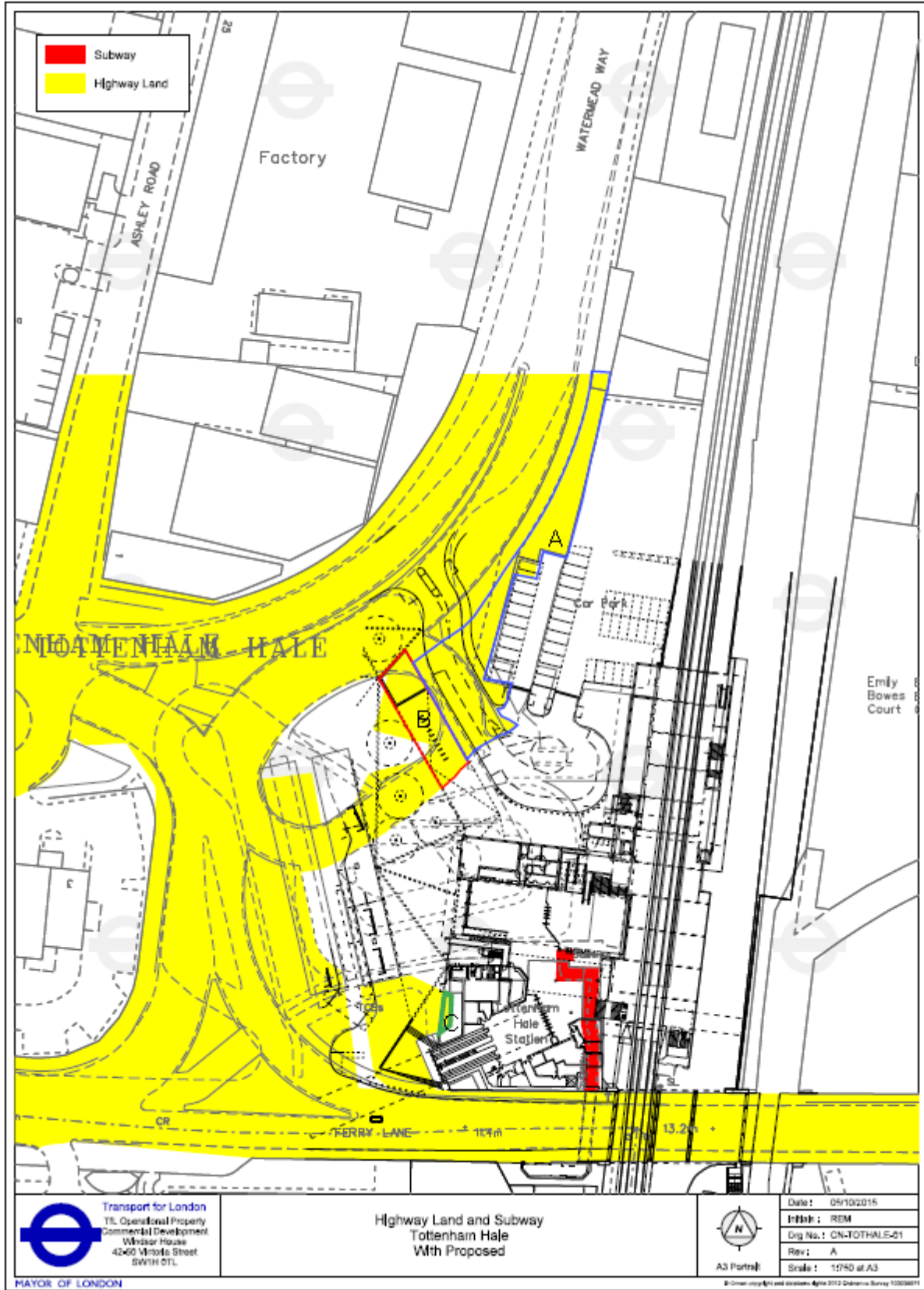
2. RECOMMENDATION

2.1 That the Committee resolve to APPROVE the stopping up order and that the Assistant Director Planning is authorised to take all the necessary steps required with (and to further sub-delegate this power), including to give notice of, deal with objections to, if objection(s) made to arrange for any inquiry, and to make with or without modifications or not to make, and give notice of accordingly, the order'.

- 2.2 In the event that member choose to make a decision contrary to officers' recommendation members will need to state their reasons.
- 2.3 This report therefore also seeks authorisation from the PSC to delegate all powers regarding the stopping up or diversion of highways in relation to development control (and the ability to further sub-delegate these powers) to the Director / AD for Planning, subject to any application which the Director/AD in consultation with the Chair considers should be referred to the PSC for determination.

Appendix One

Appendix



Transport for London
TfL Operational Property
Commercial Development
Windsor House
4240 Victoria Street
SW1H 0TL

MAYOR OF LONDON

Highway Land and Subway
Tottenham Hale
With Proposed



A3 Portrait

Date:	05/10/2015
Author:	REM
Dwg No.:	CN-TOTHALE-01
Rev:	A
Scale:	1:750 at A3

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CONTENTS

3.0 PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS

4.0 CONSIDERATIONS

5.0 RECOMMENDATION

APPENDICES:

Appendix 1: Plan

3.0 PROPOSED DEVELOPMENT AND LOCATION DETAILS

3.1 Proposed development

Planning permission was granted in August 2015 for the installation of a row of six temporary retail units for A1 and A3 uses until 31 December 2017 [planning ref. HGY/2015/1737]. In order for this scheme to be implemented a stopping-up order is needed. TfL are unable to let the units as some of the land on which the units would be located is on adopted public highway. We need therefore to stop up an area of land as public highway. This is shown as area B on the plan. As the stopping up is required to implement a planning permission the relevant process is through an order under Section 247 of the Town and Country Planning Act, 1990.

3.2 Site and Surroundings

The site is located in the northern part of the Tottenham Hale station forecourt, adjacent to the existing bus driver facility. This would replace the existing cycle racks.

The site is located on land in the northern part of the Tottenham Hale Station forecourt, facing onto Cygnet Way adjacent to the existing bus driver facility. The site is referred to as Station Square in the Tottenham Hale Masterplan. The site is generally fairly open in character with the canopied bus shelters as prominent additions. There is some retail function adjacent to the Station building and the Tottenham Hale Retail Park is adjacent to the west.

The small access road of Cygnet Way is used as a taxi waiting area and access to the car park to the north. The site is within Flood Zone 2 (Medium Risk), according to the Environment Agency (EA) Flood Map.

3.3 Relevant Planning and Enforcement history

Planning permission was granted in August 2015 for the installation of a row of six temporary retail units for A1 and A3 uses until 31 December 2017 [planning ref. HGY/2015/1737].

4.0 Planning Background

The principle of the planning proposal was accepted because the additional retail floorspace created would constitute only a relatively small increase in the context of the overall centre and the risk that it would undermine the town centre hierarchy or viability of other centres is low. Given that the Local Plan and the Tottenham Hale Urban Centre SPD, supports the opportunity to expand the retail use in the area, particularly comparison shopping, and improve the frontage onto Ferry Lane the principle of this extension, albeit in an out of town centre, was considered to be acceptable.

The Transportation team considered that the proposed temporary development will not adversely affect the flow of traffic or car parking demand on the adjoining highway network.

The scheme does not have an impact on the Highway Network and it contributes to the regeneration of the area and as such should be facilitated to go ahead.

5.0 Stopping up considerations and process

Some of the land on which the units would be located is on adopted public highway and as such it is necessary to stop up an area of land which is public highway. As the stopping up is required to enable and implement a planning permission (HGY/2015/1737) the relevant process is through an order under Section 247 of the Town and Country Planning Act, 1990.

The stopping up process requires the Council to issues a notice in the local press and the London Gazette, gives notice to any statutory undertaker affected as well as erecting a site notice detailing the draft order. There is a minimum of 28 days for representations to be received. If there are objections the Council will be required to consider these. If these objections are unresolved the Council is required to notify the Mayor of London and cause a local inquiry to be held, unless the Mayor considers it unnecessary. If there are no objections then the draft order is confirmed and the stopping up takes place.

6.0 RECOMMENDATIONS

See Section 2

Report for: Planning Sub-Committee 5 September 2016

Item number:

Title: Update on major proposals

Report authorised by : Emma Williamson

Lead Officer: John McRory

Ward(s) affected: All

Report for Key/

Non Key Decision: Non-Key decision

1. Describe the issue under consideration

1.1 To advise the Planning Sub Committee of major proposals that are currently in the pipeline. These are divided into those that have recently been approved; those awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are the being discussed at the pre-application stage.

2. Recommendations

2.1 That the report be noted.

3. Background information

3.1 As part of the discussions with members in the development of the Planning Protocol 2014 it became clear that members wanted be better informed about proposals for major development. Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2012 (NPPF). Haringey is proposing through the new protocol to achieve early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information on major proposals so that members are better informed and can seek further information regarding the proposed development as necessary.

4. Local Government (Access to Information) Act 1985

4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.

4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

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Update on progress of proposals for Major Sites

September 2016

Site	Description	Timescales/comments	Case Officer	Manager
APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED				
Alexandra Palace HGY/2016/1574	Extension of building to provide a storage and function hall	Members resolved to grant planning permission subject to the signing of a legal agreement. Not yet signed.	Malachy McGovern	John McRory
624 High Road, N17 HGY/2015/3102	Design amendments to previously consented scheme (for 42 mixed tenure residential units and 1 commercial unit) planning app ref HGY/2009/1532.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Not yet signed.	Samuel Uff	John McRory
109 Fortis Green, N2 HGY/2015/3813	Re-development to provide 9 residential units (4x3 bed, 3x2 bed and 2x1 bed) and a commercial unit.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Not yet signed.	Valerie Okeiyi	John McRory
168 Park View Road HGY/2015/3398	Demolition of existing buildings and erection of a four storey block of flats comprising 9 x 1 bed flats, 9 x 2 bed flats and 3 x 3 bed flats.	Members resolved to grant planning permission subject to the signing of a section 106 legal agreement. Not yet signed.	Malachy McGovern	John McRory
APPLICATIONS SUBMITTED TO BE DECIDED				
Cross Lane next to Hornsey depot HGY/2016/0086	Redevelopment of the site with employment space and residential units.	Principle of development acceptable. However, issues regarding height, scale, design and impact on amenity require addressing. The submission of a viability report also required.	Adam Flynn	John McRory

Hale Wharf, Ferry Lane N17 HGY/2016/1719	Outline applications for the demolition of existing structures and erection of 15 blocks from 16-21 storeys in height of primarily residential accommodation ranging from 4 to 20 storeys and providing around 500 dwellings with some commercial floor space, parking and retention of 3 no commercial barges.	Application only recently submitted and is at consultation stage. October/ November committee	Robbie McNaugher	Emma Williamson
500 White Hart Lane HGY/2016/0828	Outline planning application for the redevelopment to provide approx 120 residential units, supermarket and employment floorspace.	Planning application to be reported to Members.	Adam Flynn	John McRory
47,66 and 67, Lawrence Road HGY/2016/1212 & HGY/2016/1213	Redevelopment mixed use residential led scheme for 83 dwellings (34 x 1b, 33 x 2b, 7 x 3b and 9 x 4b)	Supported in principle – revisions required regarding access to rear shared garden and level of parking Likely October Planning Committee	Valerie Okeiyi	John McRory
Steel Yard Station Approach, Hampden Road HGY/2016/1573	Change of use from steel yard to residential and construction of a new building up to 14 Storeys in height - residential and commercial use.	Principle acceptable – however height may be an issue and is subject to views to and from the conservation area. Likely September Planning Committee	Valerie Okeiyi	John McRory
332-334 High Road HGY/2016/0787	Section 73 - Removal of condition 20 (Trees) and Variation of condition 13 (BREEAM) attached to planning permission HGY/2014/1105	May be acceptable subject to internal advice /feedback. Likely delegated decision subject to Chairs agreement	Valerie Okeiyi	John McRory

Warehouse, 590-594 Green Lanes, N8 (Hawes and Curtis) TBC	Demolition of existing building and construction of residential units and provision of 900 square metres of health centre at ground floor.	Principle acceptable. Likely later September/October committee	Adam Flynn	John McRory
Land north of Monument Way and south of Fairbanks Road, N17 HGY/2016/2184	Development of the site to create 54 affordable residential units in three blocks ranging from 3-stories to 4-stories in height.	Awaiting further information in order to consult on the application.	Adam Flynn	John McRory
Land to Rear of 3 New Road London N8 8TA HGY/2016/1582	Demolition of the existing buildings and construction of 9 new residential homes (4 x houses and 5 x flats) and 446sq.m of office (Use Class B1a) floorspace in a building extending to between 2 and 4 storeys in height and associated car parking, landscaping and infrastructure works	Principle acceptable likely October committee.	Gareth Prosser	John McRory
Lock up Garages Cline Road, N11 HGY/2016/0058	Demolition of existing lock-up garages and construction of 8No. 4 bed town houses with associated access road, parking areas and cycle stores	Scheme acceptable in principle. September committee.	Wendy Robinson	John McRory
70-72 Shepherds Hill, N6 HGY/2016/2081	The proposals seek to demolish the existing building and create a new four storey residential block with a set-back fifth floor. Two Mews houses are also proposed to the	Currently under consideration following end of consultation period.	Gareth Prosser	John McRory

	<p>rear with associated car parking, landscaping and amenity space.</p> <p>Proposals comprise 19 residential units.</p>			
<p>56 Muswell Hill, N10, HGY/2016/0988</p>	<p>Variation of condition 2 (plans and specifications) attached to planning permission HGY/2013/2069 to permit change of use of the first and second storeys of 56 Muswell Hill (Building A) from a specialist school (Use Class D1) to 6 no. shared ownership residential units (Use Class C3). Removal of the Building A, D1 basement floorspace. Alterations to the glazing to the Building A, ground floor, north-east elevation to provide a secondary entrance onto Dukes Mews</p>	<p>Still under consideration.</p>	<p>Aaron Lau</p>	<p>John McRory</p>
<p>Beacon Lodge 35 Eastern Road, N2 HGY/2016/1579</p>	<p>Variation of condition 2 (approved drawings) attached to planning permission HGY/2015/1820 to cover minor changes to the proposed design that have resulted from the design development of the detailed scheme. These minor changes are necessary to execute the proposed development, resulting from the coordination of</p>	<p>Application acceptable in principle. Likely delegated decision.</p>	<p>Adam Flynn</p>	<p>John McRory</p>

	consultants' information such as the structural engineer and arboriculturalist			
White Hart Lane Station, White Hart Lane, N17 HGY/2016/2573	<p>Works to extend the operational railway station at White Hart Lane. Creation of a new station entrance, ticket hall, station facilities and station forecourt. Provision of a new pedestrian entrance from Penshurst Road. Improved access and lift access from street level to platforms, including the erection of new platform canopies.</p> <p>Demolition of the existing station entrance and 35 local authority owned garages.</p> <p>Enhanced public realm and cycle parking facilities. Improvements to the former station building. Plus associated works.</p>	October planning committee is targeted.	Gareth Prosser	John McRory
Warehouse, 37a Markfield Road, N15 HGY/2016/1377	Adaptation of the existing warehouse building (B1/B2/B8 use) to artist recording & work pods (B1), various office sublets (B1), enclosed performance space (Sui Generis) and cafe/bar (A4) with associated amenity spaces and external alterations (amended	Supported in Principle. September Committee.	Malachy McGovern	John McRory

	description)			
Oak Lawn, Compton Avenue, Highgate, HGY/2016/1930	Demolition and replacement of existing house	Currently under consideration	Tobias Finlayson	John McRory
Far End, Compton Avenue, Highgate, HGY/2016/1595	Demolition of existing dwelling and replacement with a 2 storey house with rooms in the roof and basement	Currently under consideration	Aaron Lau	John McRory
Templeton Hall Garages HGY/2016/2621	The proposals seek to demolish the existing building and create a new four storey residential block with a set-back fifth floor. Two Mews houses are also proposed to the rear with associated car parking, landscaping and amenity space. Proposals comprise 19 residential units.	Currently under consultation	Samuel Uff	John McRory
Car wash centre Broad Lane HGY/2016/2232	Mixed use scheme with office on ground and first floor with residential on the upper floors	Currently under consideration	Aaron Lau	John McRory
St Luke's Hospital HGY/2016/2106	Variation of Condition 1 (plans & specifications) following grant of Planning Permission HGY/2016/0242 for revised internal layouts relating to the			

	Administration Building, Norton Lees and Roseneath resulting in a reduction of two units within the overall development, from 161 to 159 units.			
864 High Road N17 HGY/2016/2403	Demolition of existing buildings and construction of a five storey building comprising of 11 self contained flats	Under consideration.	Malachy McGovern	John McRory
Hale Village, Ferry Lane, Tottenham, N15 HGY/2015/0795	Submission of Reserved Matters (including appearance, layout, access, scale and landscaping) in relation to outline consent no HGY/2010/1897 for Plot SW forming part of the Hale Village Masterplan.	Planning application is in to keep permission alive.	Adam Flynn	John McRory
Section 73 for Hale Village HGY/2015/0798	The S73 is to remove the hotel from the tower.	Application is on hold on request of the applicant	Adam Flynn	John McRory
IN PRE-APPLICATION DISCUSSIONS - TO BE SUBMITTED SOON				
Ashley Road South	Comprehensive redevelopment of the site with a mix use residential led development	Principle acceptable – pre-application discussions to continue	Adam Flynn	John McRory
50-56 Lawrence Road (mono house)	Redevelopment mixed use residential led scheme	Supported in principle regarding land use. Pre-application meetings have taken place. Possible August submission.	Valerie Okeiyi	John McRory
Hale Road (Station Square West)	Comprehensive mix use residential led development	Residential next to Premier Inn. Design discussions on going with GLA. Application may be submitted mid 2016.	Adam Flynn	John McRory/Emma Williamson

Coppetts Wood Hospital, Coppetts Road, N10	Re-Development of site to provide 90 dwellings; 29 x 1 bed flats; 45 x 2 bed flats; 6 x 3 bed flats; 10 x 4 bed houses	Pre-application meeting held. Possible September submission. Design issues require resolving – level of parking provision and demolition of existing buildings – over 50% affordable housing proposed.	Zulema Nakata	John McRory
Chocolate Factory	Redevelopment of the site to provide 220 units on Workspace land, with an additional 14,835 sqm of commercial space.	Pre-application meeting held – PPA signed and possible submission in July/August	Adam Flynn	John McRory
69 Lawrence Road	Redevelopment mixed use residential led scheme	Supported in principle as land use. Pre-application meeting has taken place and further meetings are envisaged.	Valerie Okeiyi	John McRory
Land at Plevna Crescent	Reserved matters (appearance, landscaping, layout, and scale) following granted of outline planning permission for residential development under ref: APP/Y5420/A/14/2218892 (HGY/2013/2377)	Pre-application held – principle acceptable subject to further design revisions and biodiversity measures	Wendy Robinson	John McRory
Hale Village Tower, Ferry Lane, Tottenham, N15	Revised proposal for a 28 storey tower (replacing the consented 18 storey outline permission) to provide housing with commercial and/or community uses at ground	Initial pre-app meeting held on the 8 th June. PPA currently being drafted. Scheme has been delayed.	Adam Flynn	Emma Williamson / John McRory

	floor.			
52-68 Stamford Road, N15	Redevelopment of the site to provide a mixed use commercial and residential scheme	In pre-application discussions – early stages – principle of land uses acceptable	Zulema Nakata	John McRory
Car Park, Westerfield Road, N15	Change of use of and redevelopment of current site to create a multi-use pop-up urban village using modified shipping containers. The site will accommodate at least 65 individual units to support local independent businesses and community projects. An individual unit is one ISO 45G0 High Cube 40 shipping container.	Although there is general support for the scheme from a DM point of view – there will be an impact on amenity of surrounding residents – public engagement from the applicants is key.	Malachy McGovern	John McRory
33 Station Road, N22	Demolition of public house (Anglers Arms) and redevelopment of the site with commercial and residential.	Land uses acceptable Concerns over the demolition of the public house Height of building at 6 storeys a concern	Adam Flynn	John McRory
Keston Centre	Pre-application discussion for pocket living scheme approx 100 units	Pre-application meeting to held and more to be undertaken shortly	Adam Flynn	John McRory
IN PRE-APPLICATION DISCUSSIONS				
163 Tottenham Lane N8	The application proposes the demolition of the existing Kwik-Fit	Pre-application meetings held and principle acceptable.	Malachy McGovern	John McRory

	Garage and a two storey building at the rear. Erection of a five storey building for commercial and residential development.			
Highgate train depot	Demolition of the existing shed and construction of a new maintenance facility. Erection of a depot shed (with some ancillary 1st Floor Accommodation) of 6749 sqm.	Principle acceptable subject to design, biodiversity issues and slight loss of MoL	Neil Collins	John McRory
Fortismere School -	Feasibility Study - Proposed New 6th form Wing/Condition works	Three schemes discussed.	Valerie Okeiyi	John McRory
163 Tottenham Lane N8	The application proposes the demolition of the existing Kwik-Fit Garage and a two storey building at the rear. The erection of a part 4 and 5 storey building (with basements) for 60 mini apartments and works space on basement and ground levels.	Principle unacceptable at the moment as further information required	Tobias Finlayson	John McRory
Edmanson's Close, Tottenham	Alterations, extensions and infill across the site to provide more improved family accommodation. Existing number of units on site is 60. Following changes the total number of units will be 35.	Principle acceptable subject to re-provision of elderly accommodation.	Tobias Finlayson	John McRory

Cross House, 7 Cross Lane, N8	Demolition of existing building & erection of new 6 storey structure with replacement commercial across, ground, 1st & 2nd & 9 flats across 3rd, 4th & 5th storeys.	Principle acceptable subject to re-provision of employment use. Scheme too high and requires amending.	Adam Flynn	John McRory
Former Brantwood Autos, Brantwood Road, N17	Use of land for a waste transfer station, the provision of fixed plant and equipment and partial demolition of buildings and structure within the site.	Principle may be acceptable subject to further information regarding nature of operation, transport routes and impact on amenity.	Malachy McGovern	John McRory
Land at Brook Road, N22 (ICELAND SITE)	Redevelopment of site and erection of four independent residential blocks providing 148 residential units comprising a mix of one, two and three bedrooms.	Principle may be acceptable subject to compliance with the emerging AAP	Adam Flynn	John McRory
MAJOR APPLICATION CONDITIONS				
Pembroke Works	Approval of details pursuant to conditions 6 (landscaping and surroundings), condition 10 (desktop study for uses and contaminants) attached to planning permission HGY/2012/1190	Landscaping and verification details to be finalised.	Adam Flynn	John McRory
165 Tottenham Lane	Approval of details pursuant to condition 5 (construction management plan) planning permission HGY/2013/1984	Awaiting comments from internal parties.	Aaron Lau	John McRory
Hornsey Depot, Hornsey Refuse and Recycling	A number of conditions have been submitted.	A number of pre-commencement conditions have been discharged and others awaiting comments.	Adam Flynn	John McRory

Centre, High Street, N8				
St Lukes	Conditions to be submitted soon. A meeting is being arranged in order to set up monitoring meetings	Awaiting dates for meeting	Aaron Lau	John McRory
THFC	A number of conditions submitted	Only recently submitted – at consultation stage	Zulema Nakata	Emma Williamson / John McRory

Report for: Planning Sub-Committee 5 September 2016

Item number:

Title: Applications determined under delegated powers

Report authorised by : Emma Williamson

Lead Officer: Ahmet Altinsoy

Ward(s) affected: All

**Report for Key/
Non Key Decision:** Non-Key decision

1. Describe the issue under consideration

1.1 To advise the Planning Sub Committee of decisions on planning applications taken under delegated powers for the period of 27 June to 19 August 2016.

2. Recommendations

2.1 That the report be noted.

3. Background information

3.1 The Council's scheme of delegation specifies clearly the categories of applications that may be determined by officers. Where officers determine applications under delegated powers an officer report is completed and in accordance with best practice the report and decision notice are placed on the website. As set out in the Planning Protocol 2014 the decisions taken under delegated powers are to be reported monthly to the Planning Sub Committee. The attached schedule shows those decisions taken.

4. Local Government (Access to Information) Act 1985

4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.

4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

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HARINGEY COUNCIL

PLANNING COMMITTEE

APPLICATIONS DECIDED UNDER DELEGATED POWERS BETWEEN 27/06/2016 AND 19/08/2016

BACKGROUND PAPERS

For the purpose of the Local Government (Access to Information) Act 1985, the background papers in respect of the following items comprise the planning application case file.

The planning staff and planning application case files are located at 6th Floor, River Park House, Wood Green, London, N22 8HQ. Applications can be inspected at those offices 9.00am - 5.00pm, Monday - Friday. Case Officers will not be available without appointment.

In addition application case files are available to view print and download free of charge via the Haringey Council website:
www.haringey.gov.uk

From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility .
Enter the application reference number or site address to retrieve the case details.

The Development Management Support Team can give further advice and can be contacted on 020 8489 1478,
9.00am - 5.00pm, Monday - Friday.

Please see Application type codes below which have been added for your information within each Ward :

Application Type codes:

ADV	Advertisement Consent
CAC	Conservation Area Consent
CLDE	Certificate of Lawfulness (Existing)
CLUP	Certificate of Lawfulness (Proposed)
COND	Variation of Condition
EXTP	Replace an Extant Planning Permission
FUL	Full Planning Permission
FULM	Full Planning Permission (Major)
LBC	Listed Building Consent
LCD	Councils Own Development
LCDM	(Major) Councils Own Development
NON	Non-Material Amendments
OBS	Observations to Other Borough
OUT	Outline Planning Permission
OUTM	Outline Planning Permission (Major)
REN	Renewal of Time Limited Permission
RES	Approval of Details
TEL	Telecom Development under GDO
TPO	Tree Preservation Order application works

Recomendation Type codes:

GTD	Grant permission
REF	Refuse permission
NOT DEV	Permission not required - Not Development
PERM DEV	Permission not required - Permitted
PERM REQ	Development
RNO	Permission required
ROB	Raise No Objection

WARD: **Alexandra****ADV Applications Decided: 1**

Application No: **HGY/2016/1540** Officer: Aaron Lau
 Decision: GTD Decision Date: 05/07/2016
 Location: Pegasus Way Road Bridge N11
 Proposal: The replacement and upgrade of directional and operational signage consisting of: 2no. bridge signage

COND Applications Decided: 1

Application No: **HGY/2016/1548** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 06/07/2016
 Location: 75 The Avenue N10 2QG
 Proposal: Removal of condition 3 (privacy screen) attached to planning permission HGY/2016/0193 as discharge of condition 3 would excessively restrict sunlight, daylight and outlook.

FUL Applications Decided: 19

Application No: **HGY/2015/3153** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 01/08/2016
 Location: 23 Muswell Road N10 2BS
 Proposal: Conversion of semi detached house into two self contained flats and erection of side extension.

Application No: **HGY/2015/3562** Officer: Duncan McKane
 Decision: GTD Decision Date: 01/08/2016
 Location: 3 Dagmar Road N22 7RT
 Proposal: Erection of single storey side extension (householder application)

Application No: **HGY/2016/0628** Officer: Aaron Lau
 Decision: REF Decision Date: 01/07/2016
 Location: Land Rear of Yewtree Close N22 7UY
 Proposal: Erection of four detached houses

Application No: **HGY/2016/0752** Officer: Aaron Lau
 Decision: GTD Decision Date: 22/07/2016
 Location: 44 Colney Hatch Lane N10 1EA
 Proposal: Erection of a two storey rear extension and conversion of property to 3no. self-contained flats

Application No: **HGY/2016/1471** Officer: Sarah Madondo
 Decision: GTD Decision Date: 18/08/2016
 Location: 9 Crescent Road N22 7RP
 Proposal: Retrospective change of use of A1 (shop) to Sui Generis (dog grooming business)

Application No:	HGY/2016/1480	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	01/07/2016
Location:	8 Rhodes Avenue N22 7UT		
Proposal:	Demolition of existing conservatory to be replaced with permanent structure		
Application No:	HGY/2016/1486	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	05/07/2016
Location:	49 Rhodes Avenue N22 7UR		
Proposal:	Hip to gable loft conversion with election of a rear dormer. Single story ground floor rear extension. Demolition of the existing single storey garage and election of two storey side extension.		
Application No:	HGY/2016/1642	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	18/07/2016
Location:	Flat A 40 Alexandra Park Road N10 2AD		
Proposal:	Construction of outbuilding in rear garden to be used for occasional use as a summerhouse and garden shed/storage		
Application No:	HGY/2016/1730	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	21/07/2016
Location:	First Floor Flat 53 Alexandra Park Road N10 2DG		
Proposal:	Formation of Loft Conversion with rear dormer and front rooflights.		
Application No:	HGY/2016/1735	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	05/08/2016
Location:	19 Elms Avenue N10 2JN		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1781	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	09/08/2016
Location:	41 Thirlmere Road N10 2DL		
Proposal:	Construction of a single-storey ground floor rear extension and a roof extension, replacement of an existing first floor rear window with an oriel window and window in front roof slope.		
Application No:	HGY/2016/1815	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	20/07/2016
Location:	62 Grasmere Road N10 2DJ		
Proposal:	Formation of a rear dormer & the insertion of two no. conservation rooflights to the front slope to create a loft conversion.		
Application No:	HGY/2016/1848	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	02/08/2016
Location:	Ground Floor Flat 119 Alexandra Road N10 2EY		
Proposal:	Retrospective Application for ground floor rear extension		
Application No:	HGY/2016/1904	Officer:	Adam Flynn
Decision:	GTD	Decision Date:	04/08/2016
Location:	7 Princes Avenue N22 7SB		
Proposal:	Conversion of a single family dwellinghouse into two self-contained residential units (2 x 2 bed), and erection of single storey rear extension and a rear roof dormer		

Application No: **HGY/2016/1922** Officer: Sarah Madondo
 Decision: GTD Decision Date: 08/08/2016
 Location: 211 Albert Road N22 7AQ
 Proposal: Construction of a single storey rear extension with large glazed folding doors and skylight

Application No: **HGY/2016/2047** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 17/08/2016
 Location: 61 Grove Avenue N10 2AL
 Proposal: Partial hip to gable roof alterations, rear dormer window and front velux windows to facilitate loft conversion, single storey rear extension and alterations to garage.

Application No: **HGY/2016/2092** Officer: Zulema Nakata
 Decision: GTD Decision Date: 18/08/2016
 Location: 35 Clyde Road N22 7AD
 Proposal: Erection of a rear flat roof extension with balcony and insertion of roof lights to the front pitched roof to facilitate the loft conversion.

Application No: **HGY/2016/2213** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/08/2016
 Location: Ground Floor Flat 73 Palace Gates Road N22 7BW
 Proposal: Erection of single storey extension and new glazed doors to side & rear facades.

Application No: **HGY/2016/2220** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 09/08/2016
 Location: 4 Clifton Road N22 7XN
 Proposal: Extension of garage and conversion into habitable space

LCD Applications Decided: 1

Application No: **HGY/2016/2030** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/08/2016
 Location: 92 & 118 Grosvenor Road N10 2DT
 Proposal: Replacement windows and doors

NON Applications Decided: 1

Application No: **HGY/2016/1977** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 13/07/2016
 Location: 79 The Avenue N10 2QG
 Proposal: Non material amendment following a grant of planning permission HGY/2015/3612 to change design of side window with addition of leaded lights and bi-fold doors to two smaller set of French doors and side lights

PNE Applications Decided: 1

Application No: **HGY/2016/2208** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 17/08/2016
 Location: 76 Palace Gates Road N22 7BL
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.6m and for which the height of the eaves would be 2.95m

Total Applications Decided for Ward: 24

WARD: Bounds Green

CLUP Applications Decided: 1

Application No: **HGY/2016/2498** Officer: Mr N Allen
 Decision: PERM DEV Decision Date: 03/08/2016
 Location: 8 Justin Place N22 8ET
 Proposal: Lawful Development Certificate for a proposed rear extension.

FUL Applications Decided: 11

Application No: **HGY/2016/1241** Officer: Wendy Robinson
 Decision: GTD Decision Date: 04/07/2016
 Location: Flat 2 73 Clarence Road N22 8PG
 Proposal: Erection of single storey rear extension following demolition of existing rear extension

Application No: **HGY/2016/1463** Officer: Neil Collins
 Decision: GTD Decision Date: 05/08/2016
 Location: 137 Bounds Green Road N11 2ED
 Proposal: Conversion of single family dwelling into 3 self-contained flats and construction of single storey rear extension and rear roof extension

Application No: **HGY/2016/1554** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 27/06/2016
 Location: Flat 1 8 St Michaels Terrace N22 7SJ
 Proposal: Erection of single storey side infill and rear extension.

Application No: **HGY/2016/1604** Officer: Neil Collins
 Decision: GTD Decision Date: 05/07/2016
 Location: 3A Queens Parade Brownlow Road N11 2DN
 Proposal: Alterations to front fenestration and erection of roof extension.

Application No: **HGY/2016/1833** Officer: Samuel Uff
 Decision: GTD Decision Date: 22/07/2016
 Location: 12 Marlborough Road N22 8NB
 Proposal: Formation of a rear dormer & insertion of two conservation rooflights to the front slope

Application No: **HGY/2016/1845** Officer: Robbie McNaugher
 Decision: GTD Decision Date: 11/07/2016
 Location: 32 Thorold Road N22 8YE
 Proposal: Amendment to application HGY/2015/3424 approved on 13/01/2016 for loft conversion with rear facing dormer

Application No: **HGY/2016/2064** Officer: Samuel Uff
 Decision: GTD Decision Date: 17/08/2016
 Location: Flat B 42 Palmerston Road N22 8RG
 Proposal: Replace facade first floor windows from white UPVC framed double glazed to painted white timber framed double glazed windows

Application No:	HGY/2016/2104	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	29/07/2016
Location:	12 Churston Gardens N11 2NL		
Proposal:	Retrospective application for retention of lower ground floor storage area (shed) in conjunction with decking above with associated boundary treatment and alterations to existing conservatory.		
Application No:	HGY/2016/2125	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	28/07/2016
Location:	Ground Floor Flat 42 Cornwall Avenue N22 7DA		
Proposal:	Erection of a single storey rear extension		
Application No:	HGY/2016/2179	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	01/08/2016
Location:	Flat B 16 Manor Road N22 8YJ		
Proposal:	Rear Dormer Window to facilitate a loft conversion		
Application No:	HGY/2016/2460	Officer:	Gareth Prosser
Decision:	REF	Decision Date:	19/08/2016
Location:	Land to rear of 453-455 High Road N22 8JD		
Proposal:	Change of use of ground floor of approved development (Ref. HGY/2015/0437) to 1 x 1-bed and 1 x 2-bed self-contained flats together with internal alterations to layout of first floor flats and alterations to external materials		

LCD Applications Decided: 7

Application No:	HGY/2016/1955	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	14/07/2016
Location:	21 - 43 Nightingale Road N22 8QB		
Proposal:	Replacement of door entry		
Application No:	HGY/2016/1957	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	14/07/2016
Location:	Barnes Court Clarence Road N22 8PJ		
Proposal:	Replacement of door entry		
Application No:	HGY/2016/1958	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	14/07/2016
Location:	51-73 Commerce Road N22 8DZ		
Proposal:	Replacement of door entry		
Application No:	HGY/2016/1959	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	14/07/2016
Location:	Woodfield House Woodfield Way N11 2PJ		
Proposal:	Replacement of door entry		

Application No: **HGY/2016/1960** Officer: Wendy Robinson
 Decision: GTD Decision Date: 26/07/2016
 Location: 56 Clarence Road N22 8PL
 Proposal: Replacement of door entry

Application No: **HGY/2016/1961** Officer: Wendy Robinson
 Decision: GTD Decision Date: 14/07/2016
 Location: Grasmere Court Palmerston Road N22 8QR
 Proposal: Replacement of door entry

Application No: **HGY/2016/1962** Officer: Wendy Robinson
 Decision: GTD Decision Date: 14/07/2016
 Location: 83-84 Trinity Road N22 8XZ
 Proposal: Replacement of door entry

NON Applications Decided: 1

Application No: **HGY/2016/1871** Officer: David Farndon
 Decision: GTD Decision Date: 08/08/2016
 Location: Parking area to rear of Barnes Court Clarence Road N22 8PJ
 Proposal: Non-material amendment following a grant of planning permission for the omission of windows and doors to the proposed elevation and the installation of solar panels to the flat roof.

RES Applications Decided: 12

Application No: **HGY/2015/2029** Officer: Duncan McKane
 Decision: GTD Decision Date: 12/08/2016
 Location: Belmont Court Gordon Road N11 2NX
 Proposal: Approval of details pursuant to condition 5 (provision of refuse and waste storage) attached to planning permission HGY/2012/0339

Application No: **HGY/2016/1738** Officer: Wendy Robinson
 Decision: GTD Decision Date: 14/07/2016
 Location: Land to the rear of 1-11 The Drive N11 2DY
 Proposal: Approval of details pursuant to condition 7 (construction management plan) attached to planning permission HGY/2015/2571

Application No: **HGY/2016/1876** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 03/08/2016
 Location: 44 Finsbury Road N22 8PD
 Proposal: Approval of details pursuant to conditions 3 (external materials), attached to planning permission HGY/2015/0984

Application No: **HGY/2016/1877** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 02/08/2016
 Location: 44 Finsbury Road N22 8PD
 Proposal: Approval of details pursuant to conditions 4 (provision of refuse and waste storage and recycling facilities), attached to planning permission HGY/2015/0984

Application No:	HGY/2016/1878	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	02/08/2016
Location:	44 Finsbury Road N22 8PD		
Proposal:	Approval of details pursuant to conditions 5 (secure and covered cycle parking facilities), attached to planning permission HGY/2015/0984		
Application No:	HGY/2016/1879	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	03/08/2016
Location:	44 Finsbury Road N22 8PD		
Proposal:	Approval of details pursuant to condition 6 (treatment of the surroundings), attached to planning permission HGY/2015/0984		
Application No:	HGY/2016/1880	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	03/08/2016
Location:	44 Finsbury Road N22 8PD		
Proposal:	Approval of details pursuant to condition 7 (new and replacement windows), attached to planning permission HGY/2015/0984		
Application No:	HGY/2016/2017	Officer:	Neil Collins
Decision:	GTD	Decision Date:	19/08/2016
Location:	2 Bounds Green Road N11 2QH		
Proposal:	Approval of details pursuant to Condition 5 (soft landscaping) attached to planning permission HGY/2015/0643		
Application No:	HGY/2016/2018	Officer:	Neil Collins
Decision:	GTD	Decision Date:	19/08/2016
Location:	2 Bounds Green Road N11 2QH		
Proposal:	Approval of details pursuant to Condition 7 (refuse and waste storage and recycling facilities) attached to planning permission HGY/2015/0643		
Application No:	HGY/2016/2020	Officer:	Neil Collins
Decision:	GTD	Decision Date:	19/08/2016
Location:	2 Bounds Green Road N11 2QH		
Proposal:	Approval of details pursuant to Condition 4 (green roof) attached to planning permission HGY/2015/0643		
Application No:	HGY/2016/2072	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	04/07/2016
Location:	Land to the rear of 1-11 The Drive N11 2DY		
Proposal:	Approval of details pursuant to conditon 4 (landscape plan) attached to planning permission HGY/2015/2571		
Application No:	HGY/2016/2073	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	04/07/2016
Location:	Land to the rear of 1-11 The Drive N11 2DY		
Proposal:	Approval of details pursuant to condition 4 (landscape plan) attached to planning permission HGY/2015/2572		

Total Applications Decided for Ward: 32

WARD: **Bruce Grove**

CLDE Applications Decided: 3

Application No: **HGY/2016/1628** Officer: Duncan McKane
 Decision: GTD Decision Date: 14/07/2016
 Location: 29 Greyhound Road N17 6XP
 Proposal: Use of property as two self-contained flats (certificate of lawfulness for an existing use)

Application No: **HGY/2016/1847** Officer: Samuel Uff
 Decision: GTD Decision Date: 28/07/2016
 Location: 178 Philip Lane N15 4JW
 Proposal: Certificate of Lawfulness for use of rear structure/area as residential

Application No: **HGY/2016/1866** Officer: Anthony Traub
 Decision: GTD Decision Date: 03/08/2016
 Location: 81 Steele Road N17 6YJ
 Proposal: Certificate of lawfulness for use of Studio flat A as a separate self-contained flat

CLUP Applications Decided: 13

Application No: **HGY/2016/1440** Officer: Duncan McKane
 Decision: PERM DEV Decision Date: 28/06/2016
 Location: 59 Handsworth Road N17 6DB
 Proposal: Certificate of Lawfulness for new flat roof and rooflights to existing side return and change rear glazing and new rooflight over the existing flat roof of existing rear extension and a new parapet wall and glazing.

Application No: **HGY/2016/1484** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 27/06/2016
 Location: 78 St Loys Road N17 6UD
 Proposal: Certificate of Lawfulness for loft conversion with rear dormer and single storey rear extension.

Application No: **HGY/2016/1505** Officer: Duncan McKane
 Decision: PERM DEV Decision Date: 12/07/2016
 Location: 59 Lordsmead Road N17 6EX
 Proposal: Certificate of lawfulness for loft conversion with rear dormer extension and installation of 3 rooflights to front roof slope

Application No: **HGY/2016/1524** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 01/07/2016
 Location: 41 Kitchener Road N17 6DU
 Proposal: Certificate of Lawfulness for loft conversion with rear dormers, roof lights to front roof slope

Application No: **HGY/2016/1613** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 12/07/2016
 Location: 49 Bruce Grove N17 6RN
 Proposal: Certificate of lawfulness for extension of existing brick built garage.

Application No: **HGY/2016/1640** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 12/07/2016
 Location: 4 Alton Road N17 6JZ
 Proposal: Certificate of lawfulness for erection of rear dormer on the main building and rear outrigger

Application No:	HGY/2016/1644	Officer:	Anthony Traub
Decision:	PERM DEV	Decision Date:	18/07/2016
Location:	62 Dunloe Avenue N17 6LA		
Proposal:	Certificate of Lawfulness for rear roof dormer extension, loft conversion to habitable space and insertion of roof lights to the front roof slope		
Application No:	HGY/2016/1680	Officer:	Anthony Traub
Decision:	PERM REQ	Decision Date:	19/07/2016
Location:	60 Chester Road N17 6BZ		
Proposal:	Certificate of lawfulness for loft conversion with rear dormers		
Application No:	HGY/2016/1780	Officer:	Anthony Traub
Decision:	PERM DEV	Decision Date:	22/07/2016
Location:	18 St Margarets Road N17 6TY		
Proposal:	Certificate of Lawfulness for L Shaped Loft Conversion with Rear Dormer Extension		
Application No:	HGY/2016/1874	Officer:	Roland Sheldon
Decision:	PERM DEV	Decision Date:	04/08/2016
Location:	107 Greyhound Road N17 6XR		
Proposal:	Certificate of lawfulness for loft extension to rear of the property over the main body of the building and the outrigger and installation of 2 front rooflights.		
Application No:	HGY/2016/1925	Officer:	Anthony Traub
Decision:	PERM REQ	Decision Date:	28/07/2016
Location:	22 St Margarets Road N17 6TY		
Proposal:	Certificate of Lawfulness for a loft conversion with rear dormer extension and roof lights to front roof slope		
Application No:	HGY/2016/2052	Officer:	Anthony Traub
Decision:	PERM DEV	Decision Date:	04/08/2016
Location:	111 St Loys Road N17 6UE		
Proposal:	Certificate of lawfulness for rear dormer loft conversion		
Application No:	HGY/2016/2083	Officer:	Matthew Gunning
Decision:	PERM DEV	Decision Date:	01/07/2016
Location:	78 St Loys Road N17 6UD		
Proposal:	Certificate of Lawfulness for loft conversion with rear dormer and single storey rear extension		

FUL Applications Decided: 12

Application No:	HGY/2016/0171	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	29/06/2016
Location:	1 Bruce Grove N17 6RA		
Proposal:	Conversion of existing Grade 2 listed building from office (B1) to C3 to accommodate 2 x maisonettes. Demolition of 1920s ground floor shop front extension and restoration of historic 19th century facade. Erection of 2 x 2 bedroom houses to rear on former garage court with associated parking provision amenity and refuse storage		

Application No:	HGY/2016/1523	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	01/07/2016
Location:	2 Chester Road N17 6BY		
Proposal:	Erection of Garden Shed		
Application No:	HGY/2016/1626	Officer:	David Farndon
Decision:	GTD	Decision Date:	14/07/2016
Location:	60 Ranelagh Road N17 6XU		
Proposal:	Erection of rear side extension, replacement of rear bay window with new French doors, formation of rear dormer and insertion of front rooflights		
Application No:	HGY/2016/1763	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	02/08/2016
Location:	24D Woodside Gardens N17 6UW		
Proposal:	Formation of Loft Conversion		
Application No:	HGY/2016/1764	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	02/08/2016
Location:	24E Woodside Gardens N17 6UW		
Proposal:	Formation of Loft Conversion		
Application No:	HGY/2016/1765	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	02/08/2016
Location:	24F Woodside Gardens N17 6UW		
Proposal:	Formation of Loft Conversion		
Application No:	HGY/2016/1766	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	02/08/2016
Location:	24G Woodside Gardens N17 6UW		
Proposal:	Formation of Loft Conversion		
Application No:	HGY/2016/1767	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	02/08/2016
Location:	24H Woodside Gardens N17 6UW		
Proposal:	Formation of Loft Conversion		
Application No:	HGY/2016/1831	Officer:	David Farndon
Decision:	GTD	Decision Date:	05/08/2016
Location:	9 Fairbourne Road N17 6TP		
Proposal:	Change of use from residential care home (use class C2) to domestic dwelling (use class C3)		
Application No:	HGY/2016/1875	Officer:	Roland Sheldon
Decision:	GTD	Decision Date:	05/08/2016
Location:	107 Greyhound Road N17 6XR		
Proposal:	Erection of ground floor side return extension and installation of a sliding door in the rear wall of the outrigger		

Application No: **HGY/2016/2039** Officer: Duncan McKane
 Decision: GTD Decision Date: 16/08/2016
 Location: 8 Gloucester Road N17 6DH
 Proposal: Ground floor side infill extension and rear dormer loft extension with rooflight to front.

Application No: **HGY/2016/2040** Officer: David Farndon
 Decision: REF Decision Date: 16/08/2016
 Location: Flat A 5 Napier Road N17 6XX
 Proposal: Erection of a single storey rear wraparound extension to the ground floor flat

LBC Applications Decided: 1

Application No: **HGY/2016/0172** Officer: Gareth Prosser
 Decision: GTD Decision Date: 29/06/2016
 Location: 1 Bruce Grove N17 6RA
 Proposal: Listed Building Consent for Conversion of existing Grade 2 listed building from office (B1) to C3 to accommodate 2 x maisonettes. Demolition of 1920s ground floor shop front extension and restoration of historic 19th century facade. Erection of 2 x 2 bedroom houses to rear on former garage court with associated parking provision amenity and refuse storage

PNE Applications Decided: 5

Application No: **HGY/2016/1552** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 01/07/2016
 Location: 4 Alton Road N17 6JZ
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4.5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/1841** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 22/07/2016
 Location: 59 Lordsmead Road N17 6EX
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2005** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 04/08/2016
 Location: 50 Higham Road N17 6NQ
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.95m and for which the height of the eaves would be 2.95m

Application No: **HGY/2016/2021** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 04/08/2016
 Location: 87 Winchelsea Road N17 6XL
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2022** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 04/08/2016
 Location: 93 Winchelsea Road N17 6XL
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m

RES Applications Decided: 10

Application No:	HGY/2015/3844	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	08/08/2016
Location:	1-3 Mount Pleasant Road N17 6TR		
Proposal:	Approval of details pursuant to Condition 3 (details of materials) attached to planning permission HGY/2009/1858.		
Application No:	HGY/2016/1078	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	11/08/2016
Location:	5 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to condition 6 (details of joinery) attached to planning permission HGY/2014/1042		
Application No:	HGY/2016/1079	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	10/08/2016
Location:	5 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to condition 8 (historic building recording and analyses) attached to planning permission HGY/2014/1042		
Application No:	HGY/2016/2025	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 11(1) (Railings and Gates) attached to planning permission HGY/2012/0563		
Application No:	HGY/2016/2349	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 12 (2) (on-site lighting) attached to Planning Permission HGY/2012/0563		
Application No:	HGY/2016/2351	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 12 (boundary treatment) attached to Planning Permission HGY/2012/0563		
Application No:	HGY/2016/2353	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 2 (contract for the carrying out of the works) attached to Listed Building Consent HGY/2012/0564		
Application No:	HGY/2016/2356	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 17 (Precautions to secure the interior features) attached to Planning Permission HGY/2012/0563		
Application No:	HGY/2016/2357	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	16/08/2016
Location:	7 Bruce Grove N17 6RA		
Proposal:	Approval of details pursuant to Condition 11 (Precautions to secure the interior features) attached to Listed Building Consent HGY/2012/0564		

Application No: **HGY/2016/2524** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/08/2016
 Location: 7 Bruce Grove N17 6RA
 Proposal: Approval of details pursuant to Condition 3 (Materials) attached to planning permission HGY/2012/0563
 9 (Part discharge)

TPO Applications Decided: 1

Application No: **HGY/2016/1434** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 28/06/2016
 Location: Enfield Magistrates Court 71 Lordship Lane N17 6RS
 Proposal: Tree works to include reduce crown size by 30%, remove major dead wood, clear building of all
 branches ending by 1.5m of 1 x Pranus tree (Plane tree)

Total Applications Decided for Ward: 45WARD: **Crouch End****ADV Applications Decided: 5**

Application No: **HGY/2015/2290** Officer: Laurence Ackrill
 Decision: NOT DET Decision Date: 08/08/2016
 Location: Various site on Broadway Parade, The Broadway, Tottenham Lane, Park Road & Crouch End Hill N8
 Proposal: Display of non-illuminated lamp post banner advertisements on Crouch End Hill x 8, The Broadway x 13,
 Broadway Parade Tottenham Lane x 17 and Park Road x 6 (total 44)

Application No: **HGY/2016/1542** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 05/07/2016
 Location: 46 The Broadway N8 9SU
 Proposal: Display of 1 x externally illuminated hanging sign

Application No: **HGY/2016/1903** Officer: Sarah Madondo
 Decision: GTD Decision Date: 08/08/2016
 Location: 21-23 The Broadway N8 8DU
 Proposal: Display of 1 x internally illuminated fascia sign, 2 x non-illuminated fascia signs, 1 x internally illuminated
 hanging sign, 1 x internally illuminated aluminium sign and 3 x non-illuminated aluminium signs.

Application No: **HGY/2016/1996** Officer: Sarah Madondo
 Decision: GTD Decision Date: 12/08/2016
 Location: 34-36 The Broadway N8 9SU
 Proposal: Display of 3 x internally illuminated fascia signs, 1 x internally illuminated hanging sign, 4 x internally
 illuminated perspex signs, 1 x internally illuminated TV screen sign and 2 x non-illuminated vinyl signs

Application No: **HGY/2016/2044** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/08/2016
 Location: 4 Topsfield Parade Tottenham Lane N8 8PR
 Proposal: Display of 1 x externally illuminated fascia sign

COND Applications Decided: 1

Application No: **HGY/2016/2007** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/08/2016
 Location: 33 Priory Gardens N6 5QU
 Proposal: Variation of condition 2 (plans and specifications) attached to planning permission HGY/2015/1617 for the proposed basement & lightwell element of the proposals to be located to rear of property and proposed light well to front of property to be omitted

FUL Applications Decided: 29

Application No: **HGY/2015/3681** Officer: Aaron Lau
 Decision: GTD Decision Date: 04/07/2016
 Location: 15 Clifton Road N8 8JA
 Proposal: Retrospective application for the regarding of land levels within rear garden

Application No: **HGY/2015/3682** Officer: Aaron Lau
 Decision: GTD Decision Date: 04/07/2016
 Location: 15 Clifton Road N8 8JA
 Proposal: Retention of rear patio access steps and platform

Application No: **HGY/2016/0637** Officer: Aaron Lau
 Decision: REF Decision Date: 27/06/2016
 Location: Rear of 29 Haringey Park N8 9JD
 Proposal: Construction of single family dwelling with ground and basement levels

Application No: **HGY/2016/0690** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 04/08/2016
 Location: Flat 1 77 Coleridge Road N8 8EG
 Proposal: Proposed ground floor rear/infill extension for kitchen

Application No: **HGY/2016/0742** Officer: Sarah Madondo
 Decision: REF Decision Date: 08/07/2016
 Location: 39 Clifton Road N8 8JA
 Proposal: Formation of loft conversion with rear dormer and enlargement of existing dormer

Application No: **HGY/2016/0890** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 01/07/2016
 Location: 10 Broadway Parade Tottenham Lane N8 9DE
 Proposal: Change of Use from A1: (Shops) to Class Use of A3 (Restaurant & Cafe), extension to the rear elevation of the property and retrospective application for the installation of a kitchen extraction and extraction flue.

Application No: **HGY/2016/0945** Officer: Tobias Finlayson
 Decision: REF Decision Date: 03/08/2016
 Location: 62 Shepherds Hill N6 5RN
 Proposal: Construction of a single storey 2 bedroom house

Application No:	HGY/2016/1089	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	27/06/2016
Location:	55 The Broadway N8 8DT		
Proposal:	Retrospective application for change of use of the ground floor area from class A 1 (retail) to class A3 (restaurant / Café) and to use the rear garden areas for the seating of patrons.		
Application No:	HGY/2016/1404	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	11/07/2016
Location:	Flat B Jameson Lodge 58 Shepherds Hill N6 5RW		
Proposal:	Subdivision of existing lower ground floor two bedroom unit to form 2no. one bedroom studio units and the formation on an additional lightwell to the north-west elevation of the building		
Application No:	HGY/2016/1452	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	29/06/2016
Location:	Flat A, 49 Weston Park N8 9SY		
Proposal:	Construction of a garden studio		
Application No:	HGY/2016/1468	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	28/06/2016
Location:	16 Felix Avenue N8 9TL		
Proposal:	Alterations and extensions to all three flats (including a loft conversion) to enhance the quality of the existing accommodation and amenity space		
Application No:	HGY/2016/1538	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	05/07/2016
Location:	46 The Broadway N8 9SU		
Proposal:	Installation of external lighting and two external planters		
Application No:	HGY/2016/1539	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	05/07/2016
Location:	77 Claremont Road N6 5BZ		
Proposal:	Erection of rear and side return extension.		
Application No:	HGY/2016/1589	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	11/07/2016
Location:	4 Wychwood End N6 5ND		
Proposal:	Rear extension and conversion of garage into kitchen		
Application No:	HGY/2016/1592	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	08/07/2016
Location:	10 Felix Avenue N8 9TL		
Proposal:	Erection of single storey rear and side extensions, two new windows and removal of leaning chimney stack		
Application No:	HGY/2016/1612	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	13/07/2016
Location:	64 Crouch Hall Road N8 8HG		
Proposal:	Formation of one bedroom flat in basement of existing building, including new external entrance and two external light wells.		

Application No:	HGY/2016/1712	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	21/07/2016
Location:	12 Berkeley Road N8 8RY		
Proposal:	Erection of a single storey extension in rear garden, rebuilding of the existing boundary wall to the adjacent car park and the connection of the new extension with the existing flat.		
Application No:	HGY/2016/1729	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	05/08/2016
Location:	Flat 4 58 Coolhurst Road N8 8EU		
Proposal:	Creation of balconies and external staircase to provide new access to the amenity space for the top floor flat		
Application No:	HGY/2016/1795	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	27/07/2016
Location:	Flat A 30 Weston Park N8 9TJ		
Proposal:	Erection of a single storey rear extension.		
Application No:	HGY/2016/1840	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	01/08/2016
Location:	Flat A 31 Crouch Hall Road N8 8HH		
Proposal:	Ground floor rear extension involving partial demolition of rear walls		
Application No:	HGY/2016/1844	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	19/08/2016
Location:	Flat A 5 Shepherds Hill N6 5QJ		
Proposal:	Provision of 2no. Light wells for extension to basement of ground floor flat.		
Application No:	HGY/2016/1846	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	01/08/2016
Location:	103 Crouch Hill N8 9RD		
Proposal:	Erection of ground floor side infill extension and first floor extension following location of original first floor extension		
Application No:	HGY/2016/1851	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	01/08/2016
Location:	2 Broadway Parade Tottenham Lane N8 9DE		
Proposal:	Reconfiguration, refurbishment and loft conversion with rear dormer window and conversion of first and second floors including loftspace to form 1 x 2 bedroom and 1 x 3 bedroom self-contained flats (amended description)		
Application No:	HGY/2016/1859	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	02/08/2016
Location:	St Peter in Chains Catholic Church 12 Womersley Road N8 9AE		
Proposal:	Demolish existing porch extension to the church, construct a new single storey porch extension, reconfigure the entrance to the presbytery and build over the rear presbytery courtyard to provide a meeting room		
Application No:	HGY/2016/1870	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	04/08/2016
Location:	Altior Court 74-76 Shepherds Hill N6 5RJ		
Proposal:	Construction of a new retaining wall at the boundary and pavement junction		

Application No: **HGY/2016/1873** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 03/08/2016
 Location: 43 Coleridge Road N8 8EH
 Proposal: Formation of rear dormer loft extension

Application No: **HGY/2016/1929** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 09/08/2016
 Location: Flat A 20 Glasslyn Road N8 8RH
 Proposal: Replacement of the existing rear pitched roof with a rear box dormer with three new roof lights to the front pitched roof.

Application No: **HGY/2016/1984** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 03/08/2016
 Location: 53 Crouch Hall Road N8 8HH
 Proposal: Construction of Garden Room in rear garden

Application No: **HGY/2016/1998** Officer: Sarah Madondo
 Decision: REF Decision Date: 12/08/2016
 Location: Flat 2 53 Cecile Park N8 9AX
 Proposal: Erection of rear roof extension over existing back addition roof

LCD Applications Decided: 3

Application No: **HGY/2016/1341** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 18/07/2016
 Location: Flats A,B & C 131 Hornsey Lane N6 5NH
 Proposal: Replacement windows and doors

Application No: **HGY/2016/1448** Officer: Sarah Madondo
 Decision: GTD Decision Date: 28/06/2016
 Location: 10 & 10A Elm Grove N8 9AJ
 Proposal: Replacement windows and doors

Application No: **HGY/2016/1451** Officer: Sarah Madondo
 Decision: GTD Decision Date: 28/06/2016
 Location: Flats 1, 2, 3, 4, A & B 82 Crouch Hill N8 9ED
 Proposal: Replacement windows and doors

NON Applications Decided: 2

Application No: **HGY/2016/1909** Officer: Aaron Lau
 Decision: GTD Decision Date: 08/07/2016
 Location: 6 Christchurch Road N8 9QL
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/2049 to allow revision of the front landscaping.

Application No: **HGY/2016/2272** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 09/08/2016
 Location: 84 Crouch Hill N8 9ED
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/0749 in order to replace the door and windows in the kitchen with 3 bifolding doors across the whole space with window panels above

RES Applications Decided: 8

Application No: **HGY/2015/3177** Officer: Matthew Gunning
 Decision: GTD Decision Date: 21/07/2016
 Location: 41 Mount View Road N4 4SS
 Proposal: Approval of details pursuant to condition 3 (materials) attached to planning permission HGY/2014/2342

Application No: **HGY/2016/1665** Officer: Sarah Madondo
 Decision: REF Decision Date: 19/07/2016
 Location: 115 Ferme Park Road N8 9SG
 Proposal: Approval of details pursuant to condition 3 (external materials) attached to planning permission HGY/2014/3411

Application No: **HGY/2016/1666** Officer: Sarah Madondo
 Decision: REF Decision Date: 19/07/2016
 Location: 115 Ferme Park Road N8 9SG
 Proposal: Approval of details pursuant to condition 4 (front boundary treatment and landscaping) attached to planning permission HGY/2014/3411

Application No: **HGY/2016/1667** Officer: Sarah Madondo
 Decision: GTD Decision Date: 19/07/2016
 Location: 115 Ferme Park Road N8 9SG
 Proposal: Approval of details pursuant to condition 5 (refuse and waste storage) attached to planning permission HGY/2014/3411

Application No: **HGY/2016/1668** Officer: Sarah Madondo
 Decision: GTD Decision Date: 19/07/2016
 Location: 115 Ferme Park Road N8 9SG
 Proposal: Approval of details pursuant to condition 6 (secure and covered bicycle parking) attached to planning permission HGY/2014/3411

Application No: **HGY/2016/1940** Officer: Aaron Lau
 Decision: GTD Decision Date: 09/08/2016
 Location: 19 Haringey Park N8 9HY
 Proposal: Approval of Details pursuant to Condition 6 (plan showing details of green roof) attached to planning permission HGY/2013/2273

Application No: **HGY/2016/1943** Officer: Aaron Lau
 Decision: GTD Decision Date: 12/08/2016
 Location: 19 Haringey Park N8 9HY
 Proposal: Approval of Details pursuant to Condition 9 (method of construction) attached to planning permission HGY/2013/2273

Application No: **HGY/2016/1944** Officer: Aaron Lau
 Decision: GTD Decision Date: 01/08/2016
 Location: 19 Haringey Park N8 9HY
 Proposal: Approval of Details pursuant to Condition 10 (level 4 code for sustainable homes) attached to planning permission HGY/2013/2273

TPO Applications Decided: 2

Application No: **HGY/2016/1608** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 15/07/2016
 Location: Alyn Bank 21 Crescent Road N8 8AP
 Proposal: Tree works to include fell to ground level 1 x Sycamore tree

Application No: **HGY/2016/1834** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 29/07/2016
 Location: 108 Crouch Hill N8 9DY
 Proposal: Tree works to include raise crown to 4m, remove suckers, crown reduce by 30%, remove ivy from 1 x Purple Leaved Plum tree.

Total Applications Decided for Ward: 50WARD: **Fortis Green****ADV Applications Decided: 1**

Application No: **HGY/2016/1457** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 29/06/2016
 Location: 278 Muswell Hill Broadway N10 2QR
 Proposal: Display of 1 x externally illuminated fascia sign and 1 x externally illuminated hanging sign

CLDE Applications Decided: 1

Application No: **HGY/2016/1779** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 27/07/2016
 Location: 116 Creighton Avenue N2 9BJ
 Proposal: Certificate of Lawfulness for Loft Conversion with rear dormer extension

CLUP Applications Decided: 5

Application No: **HGY/2016/1610** Officer: Tobias Finlayson
 Decision: PERM DEV Decision Date: 13/07/2016
 Location: 21 Dukes Avenue N10 2PS
 Proposal: Certificate of lawfulness for the creation of a new single car access driveway and single car space, as well as a new proposed garden wall incorporating a refuse/recycling bin location and linear planting.

Application No: **HGY/2016/1736** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 115 Barrenger Road N10 1HU
 Proposal: Certificate of lawfulness for erection of single storey rear extension

Application No: **HGY/2016/1820** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 28/07/2016
 Location: 68 Hill Road N10 1JG
 Proposal: Certificate of lawfulness for roof extension with rear dormer and 3 rooflights to front roof slope

Application No: **HGY/2016/1881** Officer: Valerie Okeiyi
 Decision: PERM DEV Decision Date: 02/08/2016
 Location: 126 Osier Crescent N10 1RF
 Proposal: Certificate of Lawfulness for the conversion of garage into habitable room

Application No: **HGY/2016/1987** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 28/07/2016
 Location: 2 Eastern Road N2 9LD
 Proposal: Certificate of lawfulness for erection of single storey rear side extension

COND Applications Decided: 1

Application No: **HGY/2016/1030** Officer: Matthew Gunning
 Decision: GTD Decision Date: 11/07/2016
 Location: 4-5 Cheapside Fortis Green N2 9HP
 Proposal: Variation of condition 1 (hours of operation) attached to planning permission HGY/2011/0120 in order to extend the opening hours to 0700 to 2300 Monday to Sunday and public holidays.

FUL Applications Decided: 23

Application No: **HGY/2015/3146** Officer: Laurence Ackrill
 Decision: REF Decision Date: 15/08/2016
 Location: 43 Colney Hatch Lane N10 1LJ
 Proposal: Extension of existing roof terrace to whole area of existing roof and installation of wooden decking

Application No: **HGY/2016/0916** Officer: Sarah Madondo
 Decision: GTD Decision Date: 10/08/2016
 Location: 4 Sussex Gate Sussex Gardens N6 4LS
 Proposal: Excavation of new basement storey below the existing footprint of the house with lightwells to the front and rear elevations

Application No: **HGY/2016/0946** Officer: Sarah Madondo
 Decision: GTD Decision Date: 11/07/2016
 Location: 50 Woodside Avenue N6 4ST
 Proposal: Loft and ancillary extensions

Application No: **HGY/2016/1477** Officer: Aaron Lau
 Decision: GTD Decision Date: 01/07/2016
 Location: 478 Archway Road N6 4NA
 Proposal: Extensions and conversion of existing three storey dwelling into three self-contained flats. Proposed single storey full-width and infill extension at rear. Flat roof extension and alterations to match neighbours. Associated internal alterations.

Application No:	HGY/2016/1496	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	11/07/2016
Location:	278 Muswell Hill Broadway N10 2QR		
Proposal:	Alterations to shopfront		
Application No:	HGY/2016/1497	Officer:	David Farndon
Decision:	REF	Decision Date:	11/07/2016
Location:	Flat A 86 Greenham Road N10 1LP		
Proposal:	Formation of rear dormer extension, including over outrigger, roof deck and insertion of velux windows to front.		
Application No:	HGY/2016/1559	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	07/07/2016
Location:	Dental Practice 41 Kings Avenue N10 1PA		
Proposal:	Single storey rear extension and separate timber framed garden room at bottom of garden		
Application No:	HGY/2016/1566	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	06/07/2016
Location:	6 Dorchester Court Colney Hatch Lane N10 1BU		
Proposal:	Replacement of existing windows		
Application No:	HGY/2016/1588	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	11/07/2016
Location:	66 Osier Crescent N10 1QX		
Proposal:	Erection of single storey rear and side extension		
Application No:	HGY/2016/1646	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	18/07/2016
Location:	23 Twyford Avenue N2 9NU		
Proposal:	Demolition of existing rear extensions and construction of a new single storey rear extension. Garage conversion to playroom, including replacing garage door with a window		
Application No:	HGY/2016/1650	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	18/07/2016
Location:	1 Osier Crescent N10 1QQ		
Proposal:	Formation of loft conversion with hip-to-gable and rear dormer extensions, front velux windows and new bi-fold doors		
Application No:	HGY/2016/1655	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	18/07/2016
Location:	22 Creighton Avenue N10 1NU		
Proposal:	Erection of single storey rear extension and loft conversion including hipped to gable end roof to create 2 no. rear dormer extensions and roof lights to front roof slope		
Application No:	HGY/2016/1722	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	21/07/2016
Location:	70 Osier Crescent N10 1QX		
Proposal:	Erection of single storey rear extension.		

Application No:	HGY/2016/1819	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	28/07/2016
Location:	Whitehall Lodge Pages Lane N10 1NY		
Proposal:	Replacement of some windows and doors to match existing		
Application No:	HGY/2016/1893	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	08/08/2016
Location:	Chester House 30 Pages Lane N10 1PR		
Proposal:	Replacement of existing single pane wooden framed, metal, framed windows with PVC windows		
Application No:	HGY/2016/1918	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	08/08/2016
Location:	Land at 1 Fortis Green Avenue N2 9LY		
Proposal:	Proposed new dwelling (use of annex as approved under consent HYG/2014/2187 as a separate dwelling)		
Application No:	HGY/2016/1924	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	09/08/2016
Location:	41 Fortismere Avenue N10 3BN		
Proposal:	Loft conversion incorporating two rear dormer extensions to the rear roof slope, and insertion of three rooflights to the front roof slope and one rooflight to rear roof slope.		
Application No:	HGY/2016/1969	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	02/08/2016
Location:	4 Woodberry Crescent N10 1PH		
Proposal:	Add Juliet Balcony at rear at first floor, full height double window with glass balustrade		
Application No:	HGY/2016/1970	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	02/08/2016
Location:	4 Woodberry Crescent N10 1PH		
Proposal:	Construction of two dormer windows a velux and a new air condition unit to be created at roof level		
Application No:	HGY/2016/1981	Officer:	Tobias Finlayson
Decision:	REF	Decision Date:	11/08/2016
Location:	44 Twyford Avenue N2 9NL		
Proposal:	Extension of hipped roof over existing side extension, formation of rear dormer to facilitate loft conversion, insertion of 2no roof windows in front roof slope and conversion of garage into habitable room		
Application No:	HGY/2016/2008	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	15/08/2016
Location:	39A Woodside Avenue N6 4SP		
Proposal:	Conversion of garage to a study room		
Application No:	HGY/2016/2138	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	19/08/2016
Location:	Garage 17A, Rear Of Manor Court Aylmer Road N2 0PJ		
Proposal:	Erection of a garage in vacant space between other garages.		

Application No: **HGY/2016/2229** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 18/08/2016
 Location: 97 Steeds Road N10 1JB
 Proposal: Construction of 2 storey side extension, rear extension and front porch.

LBC Applications Decided: 1

Application No: **HGY/2016/1482** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 01/07/2016
 Location: The Gables Fortis Green N10 3EA
 Proposal: Listed Building Consent for taking down leaning parapet wall at roof level on front elevation and rebuilding vertically

NON Applications Decided: 1

Application No: **HGY/2016/1901** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 14/07/2016
 Location: Raglan Hall Hotel 8-12 Queens Avenue N10 3NR
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/3730 to allow for widening of entrance ramp

PNE Applications Decided: 4

Application No: **HGY/2016/1585** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 04/07/2016
 Location: 68 Osier Crescent N10 1QX
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3m and for which the height of the eaves would be 2.9m

Application No: **HGY/2016/1598** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 27/06/2016
 Location: 44 Twyford Avenue N2 9NL
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 3.65m, for which the maximum height would be 2.95m and for which the height of the eaves would be 2.95m

Application No: **HGY/2016/1705** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 13/07/2016
 Location: 68 Hill Road N10 1JG
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2209** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 18/08/2016
 Location: 8 Marriott Road N10 1JJ
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 2.5m and for which the height of the eaves would be 3m

RES Applications Decided: 8

Application No: **HGY/2015/2233** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 18/07/2016
 Location: Eden Primary 79 Creighton Avenue N10 1NR
 Proposal: Approval of details pursuant to condition 3 (Outdoor Area Management Plan) attached to planning permission HGY/2011/1166.

Application No: **HGY/2016/0767** Officer: Adam Flynn
 Decision: GTD Decision Date: 01/08/2016
 Location: Beacon Lodge 35 Eastern Road N2 9LB
 Proposal: Approval of details pursuant to condition 19 (sustainable drainage scheme) attached to planning permission HGY/2015/1820

Application No: **HGY/2016/0768** Officer: Adam Flynn
 Decision: GTD Decision Date: 19/07/2016
 Location: Beacon Lodge 35 Eastern Road N2 9LB
 Proposal: Approval of details pursuant to condition 9 (desktop study) attached to planning permission HGY/2015/1820.

Application No: **HGY/2016/1454** Officer: Adam Flynn
 Decision: GTD Decision Date: 08/07/2016
 Location: 90 Fortis Green N2 9EY
 Proposal: Approval of details pursuant to Condition 3 (External Materials) attached to planning permission HGY/2016/0460

Application No: **HGY/2016/1563** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 07/07/2016
 Location: Aquarius Archery Club Fortis Green Reservoir Southern Road N2 9LN
 Proposal: Approval of details pursuant to condition 1 (samples of all materials) attached to planning permission HGY/2016/0109

Application No: **HGY/2016/2116** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 19/08/2016
 Location: Raglan Hall Hotel 8-12 Queens Avenue N10 3NR
 Proposal: Approval of details pursuant to Condition 6 (Green Roof) attached to planning permission HGY/2015/3730

Application No: **HGY/2016/2119** Officer: Valerie Okeiyi
 Decision: REF Decision Date: 19/08/2016
 Location: Raglan Hall Hotel 8-12 Queens Avenue N10 3NR
 Proposal: Approval of details pursuant to Condition 10 (Construction Management Plan) attached to planning permission HGY/2015/3730

Application No: **HGY/2016/2121** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 19/08/2016
 Location: Raglan hall Hotel 8-12 Queens Avenue N10 3NR
 Proposal: Approval of details pursuant to Condition 13 (Privacy Screen) attached to planning permission HGY/2015/3730

TPO Applications Decided: 2

Application No: **HGY/2016/1564** Officer: Sarah Madondo
 Decision: GTD Decision Date: 08/07/2016
 Location: 40 Twyford Avenue N2 9NL
 Proposal: Tree works to include reduction by 30% of 1 x Oak Tree.

Application No: **HGY/2016/1681** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 18/07/2016
 Location: 6 Colney Hatch Lane N10 1DU
 Proposal: Tree works to include crown thin by 20% to 1 x Ash Tree (T4)

Total Applications Decided for Ward: 47WARD: **Harringay****ADV Applications Decided: 1**

Application No: **HGY/2016/2277** Officer: Wendy Robinson
 Decision: GTD Decision Date: 22/07/2016
 Location: Wilmott House Hampden Road N8 0HG
 Proposal: Display of non illuminated gantry sign

CLDE Applications Decided: 1

Application No: **HGY/2016/2264** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 01/08/2016
 Location: 81 Wightman Road N4 1RJ
 Proposal: Certificate of lawfulness for use of property as 2 flats

CLUP Applications Decided: 4

Application No: **HGY/2016/2062** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 08/07/2016
 Location: 32 Endymion Road N4 1EQ
 Proposal: Certificate of Lawfulness for the Proposed use of part of property as Taxi office .

Application No: **HGY/2016/2196** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 127 Seymour Road N8 0BH
 Proposal: Lawful Development Certificate for the erection of rear dormer.

Application No: **HGY/2016/2328** Officer: Gareth Prosser
 Decision: PERM DEV Decision Date: 20/07/2016
 Location: 101 Duckett Road N4 1BL
 Proposal: Lawful Development Certificate for rear dormer extension and front rooflights

Application No: **HGY/2016/2421** Officer: Wendy Robinson
 Decision: PERM DEV Decision Date: 29/07/2016
 Location: 60 Effingham Road N8 0AB
 Proposal: Certificate of lawfulness for a single storey side infill extension and rear roof dormer extension including insertion of three roof lights to the front roofslope

FUL Applications Decided: 25

Application No: **HGY/2016/1292** Officer: Gareth Prosser
 Decision: GTD Decision Date: 15/08/2016
 Location: 595 Green Lanes N8 0RE
 Proposal: Erection of A New Roof Floor to Create a Self Contained 2 Bedroom Flat

Application No:	HGY/2016/1389	Officer:	Neil Collins
Decision:	GTD	Decision Date:	18/07/2016
Location:	32 Wightman Road N4 1RU		
Proposal:	Change of use of maisonette (Use Class C3) to House in Multiple Occupation (Use Class C4)		
Application No:	HGY/2016/1502	Officer:	Nanayaa Ampoma
Decision:	GTD	Decision Date:	03/08/2016
Location:	Surgery 618 Green Lanes N8 0SD		
Proposal:	Erection of first and second floor extension and single storey rear extension.		
Application No:	HGY/2016/1601	Officer:	Neil Collins
Decision:	GTD	Decision Date:	08/07/2016
Location:	15 Mattison Road N4 1BG		
Proposal:	Erection of single storey side and rear extension.		
Application No:	HGY/2016/1674	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	14/07/2016
Location:	Ground Floor Flat 7 Warham Road N4 1AR		
Proposal:	Erection of single storey side and rear extension		
Application No:	HGY/2016/1703	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	01/07/2016
Location:	12 Umfreville Road N4 1SB		
Proposal:	Ground floor side return and rear extension		
Application No:	HGY/2016/1741	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	29/06/2016
Location:	Flat A 3 Harringay Gardens N8 0SE		
Proposal:	Erection of a single storey part rear and part side wrap around extension		
Application No:	HGY/2016/1788	Officer:	Nanayaa Ampoma
Decision:	REF	Decision Date:	01/07/2016
Location:	24 Lausanne Road N8 0HN		
Proposal:	Erection of infill extension and fixed awning to rear elevation.		
Application No:	HGY/2016/1836	Officer:	Neil Collins
Decision:	GTD	Decision Date:	15/07/2016
Location:	97 Umfreville Road N4 1RZ		
Proposal:	Erection of single storey side extension, rear dormer roof extension and installation of two rooflights on front roof slope and alterations to fenestration		
Application No:	HGY/2016/1908	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	12/07/2016
Location:	Flat D 77 Pemberton Road N4 1AX		
Proposal:	Erection of a rear roof dormer extension to Flat D incorporating a rear roofslope roof light, two roof lights to the front elevation and associated internal alterations.		

Application No:	HGY/2016/1937	Officer:	Nanayaa Ampoma
Decision:	GTD	Decision Date:	08/07/2016
Location:	Finsbury Park Green Lanes N4		
Proposal:	The installation of low level floodlighting to six existing porous macadam tennis courts		
Application No:	HGY/2016/1954	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	15/07/2016
Location:	Shop 13 Turnpike Lane N8 0EP		
Proposal:	Replacement of existing single storey timber framed rear extension with new rendered blockwork extension		
Application No:	HGY/2016/2049	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	03/08/2016
Location:	Flat 2 110 Beresford Road N8 0AH		
Proposal:	Rear dormer roof extension		
Application No:	HGY/2016/2082	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	26/07/2016
Location:	Ground Floor Flat 69 Pemberton Road N4 1AX		
Proposal:	Extension of existing basement storage area and conversion to habitable rooms by increasing floor-to-ceiling height		
Application No:	HGY/2016/2087	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	28/07/2016
Location:	5 Turnpike Lane N8 0EP		
Proposal:	Rear dormer roof extension and roof lights to the front elevation		
Application No:	HGY/2016/2094	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	26/07/2016
Location:	Shop 483 Green Lanes N4 1AJ		
Proposal:	Change of use from A1 retail use class to A3 Use class Restaurant and Cafe.		
Application No:	HGY/2016/2167	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	05/08/2016
Location:	549 Green Lanes N8 0RL		
Proposal:	Installation of two air conditioning units to the rear elevation		
Application No:	HGY/2016/2181	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	10/08/2016
Location:	103 Raleigh Road N8 0JD		
Proposal:	Single storey rear extension to ground floor flat		
Application No:	HGY/2016/2211	Officer:	Nanayaa Ampoma
Decision:	GTD	Decision Date:	03/08/2016
Location:	Ground Floor Flat 121 Effingham Road N8 0AE		
Proposal:	Erection of single storey rear extension		

Application No: **HGY/2016/2225** Officer: Wendy Robinson
 Decision: GTD Decision Date: 11/08/2016
 Location: First Floor Flat B 39 Hewitt Road N8 0BS
 Proposal: Construction of a rear roof dormer extension and insertion of one roof light to the front roofslope

Application No: **HGY/2016/2234** Officer: Samuel Uff
 Decision: GTD Decision Date: 03/08/2016
 Location: 83 Beresford Road N8 0AG
 Proposal: Single storey rear extension

Application No: **HGY/2016/2263** Officer: Samuel Uff
 Decision: GTD Decision Date: 04/08/2016
 Location: Flat A 25 Duckett Road N4 1BJ
 Proposal: Single storey rear extension

Application No: **HGY/2016/2288** Officer: Wendy Robinson
 Decision: GTD Decision Date: 09/08/2016
 Location: 29 Cavendish Road N4 1RP
 Proposal: Construction of a single storey rear extension and replacement of windows

Application No: **HGY/2016/2289** Officer: Wendy Robinson
 Decision: GTD Decision Date: 11/08/2016
 Location: Ground Floor Flat A 39 Hewitt Road N8 0BS
 Proposal: Construction of a single storey rear extension

Application No: **HGY/2016/2319** Officer: Samuel Uff
 Decision: GTD Decision Date: 05/08/2016
 Location: Flat B 220 Wightman Road N8 0ND
 Proposal: Rear dormer roof extension and 3 front rooflights

PNE Applications Decided: 1

Application No: **HGY/2016/2111** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 16/08/2016
 Location: 24 Lausanne Road N8 0HN
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3m and for which the height of the eaves would be 2.5m

RES Applications Decided: 2

Application No: **HGY/2016/1692** Officer: Matthew Gunning
 Decision: GTD Decision Date: 19/07/2016
 Location: Rear of 600 Green Lanes N8 0RY
 Proposal: Partial discharge of Condition 8 (Desktop Study & Conceptual Model) attached to Planning Permission HGY/2014/2162

Application No: **HGY/2016/2507** Officer: Gareth Prosser
 Decision: GTD Decision Date: 04/08/2016
 Location: 465 Green Lanes N4 1HE
 Proposal: Approval of details pursuant to condition 4 (refuse and waste storage and recycling facilities) attached to planning permission HGY/2016/1470

Total Applications Decided for Ward: 34

WARD: **Highgate**

CLUP Applications Decided: 2

Application No: **HGY/2016/1635** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 12/07/2016
 Location: 11 Oldfield Mews N6 5XA
 Proposal: Certificate of Lawfulness for erection of rear conservatory

Application No: **HGY/2016/1917** Officer: Anthony Traub
 Decision: GTD Decision Date: 08/08/2016
 Location: 15 Bishopswood Road N6 4PB
 Proposal: Certificate of Lawfulness of proposed development to confirm that the planning permission has been lawfully implemented

COND Applications Decided: 2

Application No: **HGY/2014/3195** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 09/08/2016
 Location: 200A Archway Road N6 5BA
 Proposal: Variation of condition 2 (plans and specifications) attached to planning permission HGY/2010/1416 for addition of a decorative border and decorative arch on the front entrance door

Application No: **HGY/2015/2220** Officer: Zulema Nakata
 Decision: GTD Decision Date: 29/07/2016
 Location: 9 Grange Road N6 4AR
 Proposal: Variation of conditions 2 (accordance with plans and specifications), 3 (external materials) and 6 (treatment of surroundings) attached to planning permission HGY/2014/2145 in order to amend design of new house.

FUL Applications Decided: 25

Application No: **HGY/2015/3659** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 19/07/2016
 Location: 6A Church Road N6 4QT
 Proposal: Erection of single storey rear extension, propitiatory garden shed and replacement garden fencing to property on private road not visible from the highway.

Application No: **HGY/2016/0644** Officer: Sarah Madondo
 Decision: REF Decision Date: 15/08/2016
 Location: 435 Archway Road N6 4HT
 Proposal: Single storey side infill extension, single storey rear extension (approved) and conversion into 2 x self-contained flats

Application No:	HGY/2016/0692	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	19/08/2016
Location:	32 Cromwell Avenue N6 5HL		
Proposal:	Construction of new brick walls to front garden and construction of bin store		
Application No:	HGY/2016/0738	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	01/08/2016
Location:	135 North Hill N6 4DP		
Proposal:	Insertion of a window to the rear and basement extension to HGY/2015/2349		
Application No:	HGY/2016/0830	Officer:	Zulema Nakata
Decision:	REF	Decision Date:	12/07/2016
Location:	361 Archway Road N6 4EJ		
Proposal:	Retention and internal re organisation of existing ground floor post office . Extension and conversion of existing space above post office to create an additional residential unit thereby creating a self contained first floor studio dwelling with screened rear amenity space and a top floor one bedroom self contained dwelling unit		
Application No:	HGY/2016/0928	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	17/08/2016
Location:	17 Cholmeley Crescent N6 5EZ		
Proposal:	Erection of new hipped roof with front dormer window and installation of ground floor front bay window		
Application No:	HGY/2016/1425	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	30/06/2016
Location:	61 Sheldon Avenue N6 4NH		
Proposal:	Extension of existing Utility Room at rear northern corner of house		
Application No:	HGY/2016/1453	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	13/07/2016
Location:	32 Stormont Road N6 4NP		
Proposal:	Demolition of rear small extensions and construction of a ground floor single storey extension, new front boundary railing and gates, and renovation and repair of the external facade of the whole building.		
Application No:	HGY/2016/1479	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	29/06/2016
Location:	99 Hornsey Lane N6 5LW		
Proposal:	Conversion of garage into living space, involving replacement of garage door by window and wall.		
Application No:	HGY/2016/1481	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	01/07/2016
Location:	39 Southwood Avenue N6 5SA		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1511	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	11/07/2016
Location:	8 Cromwell Avenue N6 5HL		
Proposal:	Small basement extension to create an en suite bathroom on approved application - HGY/2014/0212 with a new window and door with the installation of an external staircase		

Application No:	HGY/2016/1543	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	05/07/2016
Location:	25 Cromwell Avenue N6 5HN		
Proposal:	Erection of single storey side return extension.		
Application No:	HGY/2016/1568	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	07/07/2016
Location:	139 North Hill N6 4DP		
Proposal:	Alterations to front steps to include side cupboard doors		
Application No:	HGY/2016/1672	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	01/08/2016
Location:	7 Cromwell Place N6 5HR		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1716	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	20/07/2016
Location:	3 Sheldon Avenue N6 4JS		
Proposal:	Amalgamation of two approved roof dormers (HGY/2015/2460) and the construction of an inset balcony on the rear facade		
Application No:	HGY/2016/1732	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	22/07/2016
Location:	Flat J 31 Copper Beech North Grove N6 4SJ		
Proposal:	Refurbishment including replacement of south facing windows in existing openings, new windows in south elevation, replacement of 2no existing windows in east facade with glazed sliding doors and replacement of external door onto balcony		
Application No:	HGY/2016/1761	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	28/07/2016
Location:	1 Highgate Close N6 4SD		
Proposal:	Erection of ground floor rear extension.		
Application No:	HGY/2016/1818	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	28/07/2016
Location:	28 Muswell Hill Road N6 5UL		
Proposal:	Enlargement of existing extension (HGY/2014/2579)		
Application No:	HGY/2016/1838	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	02/08/2016
Location:	Flat D, Alexandra House 21 Jacksons Lane N6 5SR		
Proposal:	Provision of a roof terrace within the existing pitched roof at the rear of the building		
Application No:	HGY/2016/1849	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	02/08/2016
Location:	28 Cholmeley Crescent N6 5HA		
Proposal:	Erection of side dormer extension and alteration to existing rear dormer, new timber framed windows to front elevation		

Application No: **HGY/2016/1852** Officer: Valerie Okeiyi
 Decision: REF Decision Date: 03/08/2016
 Location: 13 Langdon Park Road N6 5PS
 Proposal: Conversion of existing 5 bedroom house into 2 x 2 bed flats and 1 x studio flat

Application No: **HGY/2016/1915** Officer: Aaron Lau
 Decision: GTD Decision Date: 04/08/2016
 Location: 34 Hampstead Lane N6 4NT
 Proposal: Demolition of existing property and erection of new two storey property with basement level

Application No: **HGY/2016/1934** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 01/08/2016
 Location: 8 Yeatman Road N6 4DT
 Proposal: Formation of rear dormer extension including 2 sash windows, and addition of two rooflights within the front sloped roof (householder application)

Application No: **HGY/2016/1966** Officer: Aaron Lau
 Decision: GTD Decision Date: 09/08/2016
 Location: Southwood Park Southwood Lawn Road N6 5SG
 Proposal: Removal of 1 antenna and the installation of 6 antennas on poles on the roof of the building, the removal and replacement of 1 equipment cabinet and installation of a 2nd equipment and development ancillary thereto

Application No: **HGY/2016/1972** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 10/08/2016
 Location: 30 Cholmeley Park N6 5EU
 Proposal: Demolition of rear existing part-width single storey extension and the erection of a full width brick, highly glazed single storey extension.

LBC Applications Decided: 2

Application No: **HGY/2016/0739** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 01/08/2016
 Location: 135 North Hill N6 4DP
 Proposal: Listed Building Consent for the Insertion of a window to the rear and basement extension to HGY/2015/2349

Application No: **HGY/2016/1569** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 07/07/2016
 Location: 139 North Hill N6 4DP
 Proposal: Listed Building Consent for alterations to front steps to include side cupboard doors

RES Applications Decided: 4

Application No: **HGY/2016/1495** Officer: Aaron Lau
 Decision: GTD Decision Date: 11/07/2016
 Location: 60 Sheldon Avenue N6 4ND
 Proposal: Approval of details pursuant to part of condition 4 (privacy screen) attached to planning permission HGY/2014/0884, in order to discharge the part that states that the screening to the terrace should be installed before the property is occupied.

Application No: **HGY/2016/1593** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 12/07/2016
 Location: Mallinson Sports Centre Highgate School Sports Field Bishopswood Road N6 4NY
 Proposal: Approval of details pursuant to condition 7 (Construction Management Plan and Construction Logistics Plan) attached to planning permission HGY/2015/1029

Application No: **HGY/2016/1625** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 14/07/2016
 Location: Mallinson Sports Centre Highgate School Sports Field Bishopswood Road N6 4NY
 Proposal: Approval of details pursuant to Condition 3 (Materials) attached to planning permission HGY2015/1029

Application No: **HGY/2016/1806** Officer: Matthew Gunning
 Decision: GTD Decision Date: 29/07/2016
 Location: Highgate Junior School Bishopswood Road N6 4PP
 Proposal: Approval of details pursuant to conditions 5 & 6 (local employment) and 14 (emissions standard of the combustion plant) attached to planning permission HGY/2012/2346.

TPO Applications Decided: 6

Application No: **HGY/2016/1485** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 04/07/2016
 Location: 20 North Grove N6 4SL
 Proposal: Tree works to include crown reduction by 30% to 1 x Horse Chestnut tree

Application No: **HGY/2016/1487** Officer: Sarah Madondo
 Decision: GTD Decision Date: 01/07/2016
 Location: 36 Sheldon Avenue N6 4JR
 Proposal: Tree works to include reduce to give 2m clearance from adjoining property, reduce back to previous points retaining furnishing growth and balanced crown and remove epicormic growth and deadwood to 1 x Oak Tree.

Application No: **HGY/2016/1629** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 22/07/2016
 Location: 19 Broadlands Road N6 4AE
 Proposal: Tree works to include crown thinning by 20%, reduction of extremities of branches growing towards property to give clearance of 3m and removal of low branches over road to a height of 6m of 1 x Beech tree

Application No: **HGY/2016/1768** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 27/07/2016
 Location: 3 Oldfield Mews N6 5XA
 Proposal: Tree works to include felling to ground level of 1 x Horse Chestnut tree

Application No: **HGY/2016/1935** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 05/08/2016
 Location: Flat 1 3 Jacksons Lane N6 5SR
 Proposal: Tree works to include crown reduce by 1-2m and shape, cut back from building and remove deadwood of 1 x English Oak tree in front garden

Application No: **HGY/2016/2108** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 18/08/2016
 Location: 2-4 Broadlands Road N6 4AN
 Proposal: Tree works to include various works to various trees

Total Applications Decided for Ward: 41

WARD: **Hornsey**

ADV Applications Decided: 1

Application No: **HGY/2016/1744** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 26/07/2016
 Location: 1-3 Tottenham Lane N8 9DJ
 Proposal: Display of 1 x externally illuminated fascia sign and 1 x non-illuminated Dutch canopy sign

CLUP Applications Decided: 1

Application No: **HGY/2016/2150** Officer: Laurence Ackrill
 Decision: PERM DEV Decision Date: 27/07/2016
 Location: 1 Hermiston Avenue N8 8NL
 Proposal: Certificate of Lawfulness for rear single storey extension

FUL Applications Decided: 22

Application No: **HGY/2015/3440** Officer: Zulema Nakata
 Decision: REF Decision Date: 20/07/2016
 Location: 46 Clovelly Road N8 7RH
 Proposal: Demolition of the existing garage structure and erection of a single residential dwelling including new basement.

Application No: **HGY/2015/3735** Officer: Aaron Lau
 Decision: GTD Decision Date: 08/07/2016
 Location: 64 South View Road N8 7LS
 Proposal: Erection of ground floor infill extension, loft extension with rear dormer and front velux windows

Application No: **HGY/2016/0858** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 11/07/2016
 Location: 100 High Street N8 7NT
 Proposal: Change the use of existing unused ground level A3 restaurant space partly into an A2 professional service office space and the other portion to be part of the existing C 3a Dwelling House upstairs.

Application No: **HGY/2016/1007** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 20/07/2016
 Location: Site adjoining 87A Rathcoole Gardens N8 9PH
 Proposal: Construction of a building for four residential dwellings comprising 2 x 3 bed and 2 x 1 bed, with access, landscaping and associated works.

Application No:	HGY/2016/1057	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	15/08/2016
Location:	3 Nightingale Mews Nightingale Lane N8 7RA		
Proposal:	Part single rear infill extension, single storey 1st floor addition and basement excavation to existing Studio dwelling to create a larger 1 bedroom mews house		
Application No:	HGY/2016/1264	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	05/07/2016
Location:	93 Tottenham Lane N8 9BG		
Proposal:	Conversion of 4 x bedsits into 1 x studio flat and 1 x 2 bedroom flat on first, second and third floor and new side entrance door. New one bedroom part single, part two storey house to the rear of the site.		
Application No:	HGY/2016/1445	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	28/06/2016
Location:	139 Inderwick Road N8 9JR		
Proposal:	Proposed addition of a rear extension and a partial side return		
Application No:	HGY/2016/1461	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	30/06/2016
Location:	Ground Floor Shop 77 Tottenham Lane N8 9BE		
Proposal:	Change of use from A1 (Retail) Use Class to Sui Generis (Nail Bar)		
Application No:	HGY/2016/1488	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	05/07/2016
Location:	Flat A 10 Rathcoole Avenue N8 9NA		
Proposal:	Conversion of roof over rear outrigger into a dormer extension and roof lights to front roof slope		
Application No:	HGY/2016/1639	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	19/07/2016
Location:	Flat 3 The Mews 62B High Street N8 7NX		
Proposal:	Second floor roof extension with a roof terrace		
Application No:	HGY/2016/1643	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	18/07/2016
Location:	Flat 2 57 Hillfield Avenue N8 7DS		
Proposal:	Construction of log cabin in rear garden		
Application No:	HGY/2016/1658	Officer:	Tobias Finlayson
Decision:	REF	Decision Date:	19/07/2016
Location:	14 Clovelly Road N8 7RH		
Proposal:	Erection of single storey side and rear extensions		
Application No:	HGY/2016/1677	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	18/08/2016
Location:	Cleopatra House Pembroke Road N8 7RQ		
Proposal:	Erection of part 3 storey, part 4 storey building to accommodate 9 residential units with private and communal amenity and basement car parking for 4 vehicles		

Application No:	HGY/2016/1679	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	19/07/2016
Location:	19 Glebe Road N8 7DA		
Proposal:	Erection of single storey side extension following the demolition of an existing side return and replacement of an existing rear door on the ground floor with a new sash window.		
Application No:	HGY/2016/1682	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	19/07/2016
Location:	19 Ribblesdale Road N8 7EP		
Proposal:	Variation of condition 1 (plans and specifications) as added by non-material amendment ref: HGY/2016/0622 dated 29/03/2016 to allow for the substitution of drawings so that minor material amendments to the approved scheme can be implemented, and the removal of condition 11 (vehicle access) attached to planning permission HGY/2008/0759, associated with the incorporation of a vehicle turntable, to allow for the turning and parking of 2 cars within the site.		
Application No:	HGY/2016/1743	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	26/07/2016
Location:	1-3 Tottenham Lane N8 9DJ		
Proposal:	Change of use from Sui Generis (Minicab office) to A1 (Coffee shop)		
Application No:	HGY/2016/1808	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	28/07/2016
Location:	Ground Floor & First Floor Flats 80 Beechwood Road N8 7NG		
Proposal:	Erection of double storey side extension, single storey rear extension & loft conversion		
Application No:	HGY/2016/1857	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	02/08/2016
Location:	274 Ferme Park Road N8 9BL		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1912	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	08/08/2016
Location:	32 Rosebery Gardens N8 8SH		
Proposal:	Erection of single storey rear extension.		
Application No:	HGY/2016/1920	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	08/08/2016
Location:	Back of 45 Tottenham Lane N8 9BD		
Proposal:	Rebuilding of property to provide a new residential unit in lieu of the artist's studio.		
Application No:	HGY/2016/1923	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	09/08/2016
Location:	Second Floor Flat 46 Hillfield Avenue N8 7DT		
Proposal:	Rear extension on part of roof of back addition		

Application No: **HGY/2016/2000** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 19/08/2016
 Location: 37 Rokesly Avenue N8 8NS
 Proposal: Erection of single storey rear extension

NON Applications Decided: 2

Application No: **HGY/2016/1720** Officer: Sarah Madondo
 Decision: GTD Decision Date: 28/06/2016
 Location: Flat A 140 Nelson Road N8 9RN
 Proposal: Non-material amendment following a grant of planning permission HGY/2016/0848 to offset the wall of extension by 100mm, install two rooflights to extension roof and build storage cupboard adjacent to bay window

Application No: **HGY/2016/2038** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 11/08/2016
 Location: 244 Ferme Park Road N8 9BN
 Proposal: Non-material amendment following a grant of planning permission HGY/2016/0897 to reduce floor level within proposed front garden lightwell to suit neighbour's level at 246 Ferme Park Road

PNE Applications Decided: 1

Application No: **HGY/2016/1952** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 03/08/2016
 Location: 12a Lightfoot Road N8 7JN
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 3.75m, for which the maximum height would be 3.9m and for which the height of the eaves would be 2.9m

RES Applications Decided: 1

Application No: **HGY/2016/0871** Officer: Adam Flynn
 Decision: GTD Decision Date: 08/07/2016
 Location: Hornsey Refuse and Recycling Centre High Street N8 7QB
 Proposal: Approval of Details pursuant to condition 28 (Mechanical Plant) attached to planning permission HGY/2013/2019)

Total Applications Decided for Ward: 28WARD: **Muswell Hill****ADV Applications Decided: 3**

Application No: **HGY/2016/1450** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 28/06/2016
 Location: 152 Muswell Hill Broadway N10 3SA
 Proposal: Display of 1 x halo illuminated fascia sign and 1 x non illuminated hanging sign (amended description)

Application No: **HGY/2016/1577** Officer: Tobias Finlayson
 Decision: REF Decision Date: 11/07/2016
 Location: 105-111 Muswell Hill Broadway N10 3RS
 Proposal: Display of 2 x internal 46" (Portrait) TV's in shroud within the banking hall and red vinyl applied internally to sections of the shopfront

Application No: **HGY/2016/1607** Officer: Valerie Okeiyi
 Decision: REF Decision Date: 12/07/2016
 Location: 58 Muswell Hill Broadway N10 3RT
 Proposal: Display of 1 x internally illuminated fascia sign and 1 x internally illuminated hanging sign

CLDE Applications Decided: 1

Application No: **HGY/2015/3296** Officer: Sarah Madondo
 Decision: GTD Decision Date: 06/07/2016
 Location: 55 Muswell Hill N10 3PN
 Proposal: Use of building as 6 flats

CLUP Applications Decided: 5

Application No: **HGY/2016/1439** Officer: Sarah Madondo
 Decision: PERM DEV Decision Date: 28/06/2016
 Location: 29 Farrer Road N8 8LD
 Proposal: Certificate of Lawfulness for rear dormer loft extension with 4 x velux windows on the front slope.

Application No: **HGY/2016/1578** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 08/07/2016
 Location: 35 Woodland Rise N10 3UP
 Proposal: Certificate of Lawfulness for loft conversion with rear dormer extension, roof lights to front roof slope and Juliet balcony

Application No: **HGY/2016/1615** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 11/07/2016
 Location: 17 Cranley Gardens N10 3AA
 Proposal: Certificate of lawfulness for new side elevation dormer to rear roof of the existing building

Application No: **HGY/2016/2128** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 03/08/2016
 Location: 131 Priory Road N8 8NA
 Proposal: Certificate of lawfulness for formation of rear dormer

Application No: **HGY/2016/2380** Officer: Laurence Ackrill
 Decision: PERM DEV Decision Date: 09/08/2016
 Location: 59 Farrer Road N8 8LD
 Proposal: Certificate of Lawfulness for a side extension with roof light and side entrance.

COND Applications Decided: 1

Application No: **HGY/2016/1762** Officer: Robbie McNaugher
 Decision: REF Decision Date: 27/07/2016
 Location: Connaught House Connaught Gardens N10 3LH
 Proposal: Variation of Condition 2 (Drawings) & Condition 4 (Balcony Screen) following a Grant of Planning Permission HGY/2014/1973 to increase the amount of outdoor amenity space available to resident of the fourth storey

FUL Applications Decided: 19

Application No:	HGY/2015/3340	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	19/08/2016
Location:	12 Firs Avenue N10 3LY		
Proposal:	Extension of rear fence adjoining carpark up by 1m to help maintain privacy.		
Application No:	HGY/2015/3626	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	19/07/2016
Location:	30 Church Crescent N10 3NE		
Proposal:	Creation of new basement flat		
Application No:	HGY/2016/0406	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	28/06/2016
Location:	108 Muswell Hill Road N10 3JD		
Proposal:	Change of use from studio to use as studio and residential annex to main building		
Application No:	HGY/2016/0542	Officer:	Laurence Ackrill
Decision:	REF	Decision Date:	07/07/2016
Location:	57 The Chine N10 3PX		
Proposal:	Erection of single storey side extension and formation of two new dormers		
Application No:	HGY/2016/1151	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	04/07/2016
Location:	2-6 Summerland Gardens N10 3QN		
Proposal:	Demolition of 5 no single storey garage/workshop units and the construction of 4 no. two storey houses		
Application No:	HGY/2016/1402	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	11/07/2016
Location:	2 Wavel Mews N8 8LQ		
Proposal:	Conversion of an original garage space into a habitable room together with a new front window		
Application No:	HGY/2016/1421	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	08/07/2016
Location:	57 Redston Road N8 7HL		
Proposal:	Demolition of an existing rear garden conservatory and construction of a single story rear extension		
Application No:	HGY/2016/1433	Officer:	Aaron Lau
Decision:	REF	Decision Date:	28/06/2016
Location:	60-62 Muswell Hill Broadway N10 3RT		
Proposal:	Construction of three storey single family dwelling at the rear yard backing the existing building		
Application No:	HGY/2016/1435	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	28/06/2016
Location:	18 Etheldene Avenue N10 3QH		
Proposal:	Erection of single storey rear extension		

Application No:	HGY/2016/1512	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	04/07/2016
Location:	54 Carysfort Road N8 8RB		
Proposal:	Conversion of the existing space below the front living room to habitable accommodation, and the addition of a front light well		
Application No:	HGY/2016/1567	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	07/07/2016
Location:	66 Cranley Gardens N10 3AJ		
Proposal:	Single Storey rear extension		
Application No:	HGY/2016/1571	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	12/07/2016
Location:	66 Cranley Gardens N10 3AJ		
Proposal:	Two storey side extension with pitch roof and extending an existing rear dormer and new rooflights .		
Application No:	HGY/2016/1576	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	11/07/2016
Location:	105-111 Muswell Hill Broadway N10 3RS		
Proposal:	Relocation of 1x existing external ATM		
Application No:	HGY/2016/1594	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	13/07/2016
Location:	41 Lynton Road N8 8SR		
Proposal:	Proposed single storey rear extension and conversion of existing garage into a habitable room.		
Application No:	HGY/2016/1614	Officer:	Adam Flynn
Decision:	GTD	Decision Date:	13/07/2016
Location:	Flat 2 69 Hillfield Park N10 3QU		
Proposal:	Erection of ground floor side extension		
Application No:	HGY/2016/1882	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	05/08/2016
Location:	2 Church Crescent N10 3ND		
Proposal:	Replacement of front elevation bedroom windows		
Application No:	HGY/2016/1902	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	04/08/2016
Location:	25 Firs Avenue N10 3LY		
Proposal:	Demolition of existing rear extension, replaced with new extension. New rooflight on main roof. Rear window in existing loft extension enlarged to include a Juliet balcony and sliding glass doors		
Application No:	HGY/2016/1926	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	09/08/2016
Location:	36 Priory Avenue N8 7RN		
Proposal:	Refurbishment of existing basement to create an additional living space, reconfigure external staircase in front garden for access to basement, new rooflights to enclosed yard, new doors and Juliet Balcony to replace existing.		

Application No: **HGY/2016/1986** Officer: Sarah Madondo
 Decision: REF Decision Date: 11/08/2016
 Location: 1 Rookfield Avenue N10 3TS
 Proposal: Formation of dormer window to rear roof to facilitate loft conversion

LBC Applications Decided: 1

Application No: **HGY/2016/1529** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 06/07/2016
 Location: Odeon Cinema Fortis Green Road N10 3HP
 Proposal: Listed Building Consent for internal alterations to main auditorium, to include insertion of two independent cinema pods to circle rear (to create new screens 4 and 5); reinstatement and refurbishment of lower stalls, including installation of seating on timber stepping and altering screen position; re-stepping of circle level to accommodate three rows of seating and original 1930's seating area; and repair and redecoration throughout

LCD Applications Decided: 1

Application No: **HGY/2016/0715** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 08/07/2016
 Location: Flats 1-12 Winkley Court St James's Lane N10 3RB
 Proposal: Replacement windows and doors

NON Applications Decided: 4

Application No: **HGY/2016/1861** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 06/07/2016
 Location: 59 Farrer Road N8 8LD
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/2657 to replace rear sliding doors with window

Application No: **HGY/2016/2036** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/08/2016
 Location: 2 + 3 Connaught Grange Connaught Gardens N10 3LE
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/1983 to introduce additional roof lights and change shape of roof lights on hip

Application No: **HGY/2016/2327** Officer: David Farndon
 Decision: GTD Decision Date: 15/08/2016
 Location: 3 Firs Avenue N10 3LY
 Proposal: Non-material amendments following a grant of planning permission HGY/2016/0050 for standing seam zinc to face of dormer in lieu of lead, omission of the 2 roof lights at ground floor extension, aluminium in lieu of timber to the gable end windows and doors to the ground floor extension, and simplification of the design of the gable end windows by omitting the glazing bars.

Application No: **HGY/2016/2393** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 19/08/2016
 Location: Flat C 53 Onslow Gardens N10 3JY
 Proposal: Non-material amendment following a grant of planning permission HGY/2016/1311 comprising the widening of the existing window opening to provide a double door access to the small balcony.

RES Applications Decided: 11

Application No:	HGY/2016/0309	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	12/07/2016
Location:	Everyman Cinema Fortis Green Road N10 3HP		
Proposal:	Approval of details pursuant to conditions 4 a) (methodology to repair the terrazzo flooring in the entrance foyer including an indiscrete section of the floor to be cleaned as a sample) and 4 b) (details or manufacturers specification of all external paint and plaster work) attached to listed buildings consent HGY/2015/2589		
Application No:	HGY/2016/0310	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	12/07/2016
Location:	Everyman Cinema Fortis Green Road N10 3HP		
Proposal:	Approval of details pursuant to condition 4 (Details or manufacturers specification of all external paint and plaster work) attached to planning permission HGY/2015/2588.		
Application No:	HGY/2016/0667	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 3 (materials) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/0668	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 4 (reconstruction of the vehicular crossover) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/0669	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 5 (Construction Management Plan (CMP) and Construction Logistics Plan (CLP)) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/0671	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 7 (external lighting) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/0672	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 8 (hard and soft landscape works) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/0673	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Partial discharge of condition 9 (desktop study) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		

Application No:	HGY/2016/0675	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	29/07/2016
Location:	Holly Bank Cottage Holly Bank Muswell Hill N10 3TH		
Proposal:	Approval of details pursuant to condition 12 (tree protection measures) attached to appeal reference APP/Y5420/W/15/3004833 (Original planning reference HGY/2013/2606)		
Application No:	HGY/2016/1091	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	27/07/2016
Location:	9 Railway Arches St James's Lane N10 3QX		
Proposal:	Approval of details pursuant to condition 3 (means of ventilation for the extraction and dispersal of smells/fumes) attached to planning permission HGY/2014/3410		
Application No:	HGY/2016/1990	Officer:	Aaron Lau
Decision:	GTD	Decision Date:	12/08/2016
Location:	St Lukes Woodside Hospital Woodside Avenue N10 3JA		
Proposal:	Approval of details pursuant to Condition 20 (Photovoltaic Panels) attached to planning permission		

Total Applications Decided for Ward: 46

WARD: **Noel Park**

ADV Applications Decided: 3

Application No:	HGY/2016/1361	Officer:	Nanayaa Ampoma
Decision:	GTD	Decision Date:	12/07/2016
Location:	110 High Road N22 6HE		
Proposal:	Proposed 1x internally illuminated advert.		
Application No:	HGY/2016/2175	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	22/07/2016
Location:	Unit 23 Wood Green Shopping City High Road N22 6YD		
Proposal:	Installation of 3no internally illuminated fascia signs and 1no externally illuminated projecting sign (Advertisement Consent)		
Application No:	HGY/2016/2439	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	01/08/2016
Location:	Wood Green Central Library 187-197A High Road N22 6XD		
Proposal:	Display of 1 x non illuminated poster sign		

CLDE Applications Decided: 2

Application No:	HGY/2016/2126	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	08/07/2016
Location:	125 Farrant Avenue N22 6PE		
Proposal:	Certificate of Lawful Development for an existing rear roof extension		
Application No:	HGY/2016/2192	Officer:	Nanayaa Ampoma
Decision:	GTD	Decision Date:	22/07/2016
Location:	59 Park Ridings N8 0LB		
Proposal:	Certificate of Lawfulness (existing) for the use of the property as 6 self-contained flats		

CLUP Applications Decided: 3

Application No: **HGY/2016/1811** Officer: Neil Collins
 Decision: PERM DEV Decision Date: 29/06/2016

Location: 11 Westbeech Road N22 6HU

Proposal: Certificate of Lawfulness for erection of rear roof extension and installation of roof lights in front roof slope

Application No: **HGY/2016/2483** Officer: Mr N Allen
 Decision: PERM DEV Decision Date: 03/08/2016

Location: 10 Hewitt Avenue N22 6QD

Proposal: Lawful Development Certificate for a Proposed single storey rear extension

Application No: **HGY/2016/2510** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 19/08/2016

Location: 69 Alexandra Road N8 0LG

Proposal: Certificate of Lawfulness for a proposed dormer and 3x rooflights.

COND Applications Decided: 1

Application No: **HGY/2016/2182** Officer: Gareth Prosser
 Decision: GTD Decision Date: 02/08/2016

Location: 185 High Road N22 6BA

Proposal: Variation of condition 3 (hours of operation) following a grant of planning permission HGY/2015/1964 to permit the restaurant to open 2 hours longer until Midnight on Sundays and Bank Holidays

FUL Applications Decided: 16

Application No: **HGY/2016/0373** Officer: Neil Collins
 Decision: GTD Decision Date: 11/08/2016

Location: 106 Turnpike Lane N8 0PH

Proposal: Conversion of single family dwelling house into 3 self-contained flats, single storey rear/side extension, erection of hip-to-gable and rear dormer roof extensions and installation of roof lights in front roof slope

Application No: **HGY/2016/1018** Officer: Neil Collins
 Decision: GTD Decision Date: 11/08/2016

Location: 104 Mayes Road N22 6SY

Proposal: Single storey rear / side extension to ground floor flat

Application No: **HGY/2016/1466** Officer: Neil Collins
 Decision: GTD Decision Date: 08/07/2016

Location: 13 Cheapside High Road N22 6HH

Proposal: Erection of first and second floor rear extension and external stairs to create 2 self-contained flats

Application No: **HGY/2016/1515** Officer: Nanayaa Ampoma
 Decision: REF Decision Date: 05/07/2016

Location: 26 Russell Avenue N22 6PP

Proposal: Erection of part single, part two storey rear extension.

Application No:	HGY/2016/1517	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	12/08/2016
Location:	2 Wallis Mews N8 0BF		
Proposal:	CHANGE OF USE TO (C3) RESIDENTIAL ON THE FIRST AND SECOND FLOORS, PROPOSED GROUND, FIRST AND SECOND FLOOR REAR EXTENSIONS AND ROOF CONVERSION		
Application No:	HGY/2016/1700	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	28/06/2016
Location:	Ground Floor Flat A 7 The Avenue N8 0JR		
Proposal:	Single storey rear extension		
Application No:	HGY/2016/1896	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	07/07/2016
Location:	Shop 66 Turnpike Lane N8 0PR		
Proposal:	Erection of single storey front extension		
Application No:	HGY/2016/1900	Officer:	Nanayaa Ampoma
Decision:	REF	Decision Date:	04/07/2016
Location:	177 Westbury Avenue N22 6RX		
Proposal:	Conversion of a dwellinghouse to 2x flats (1x one bed and 1x two bed) and the erection of a rear dormer.		
Application No:	HGY/2016/1913	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	27/07/2016
Location:	134 Russell Avenue N22 6PS		
Proposal:	Insertion of three rooflights to the rear roofslope and bi-fold door to existing rear extension elevation		
Application No:	HGY/2016/1949	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	27/07/2016
Location:	15 Morley Avenue N22 6LY		
Proposal:	Construction of a single storey rear extension and single storey side extension following demolition of an existing wrap around extension		
Application No:	HGY/2016/2024	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	02/08/2016
Location:	30 Morley Avenue N22 6LY		
Proposal:	A side return infill rear extension and rear rooflight		
Application No:	HGY/2016/2050	Officer:	Gareth Prosser
Decision:	REF	Decision Date:	10/08/2016
Location:	111 Willingdon Road N22 6SE		
Proposal:	Conversion of property into 3 flats with rear ground floor extension and dormer window		
Application No:	HGY/2016/2172	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	29/07/2016
Location:	Unit 23 Wood Green Shopping City High Road N22 6YD		
Proposal:	External seating		

Application No: **HGY/2016/2173** Officer: Wendy Robinson
 Decision: GTD Decision Date: 29/07/2016
 Location: Unit 23 Wood Green Shopping City High Road N22 6YD
 Proposal: Alterations to shop front and associated works

Application No: **HGY/2016/2214** Officer: Samuel Uff
 Decision: GTD Decision Date: 01/08/2016
 Location: 11 Westbeech Road N22 6HU
 Proposal: Single storey infill and rear extension

Application No: **HGY/2016/2422** Officer: Gareth Prosser
 Decision: GTD Decision Date: 17/08/2016
 Location: Part of Land at The Chocolate Factory 22 Western Road N22 6UH
 Proposal: Retrospective application for installation of two temporary buildings for office and product development purposes.

NON Applications Decided: 1

Application No: **HGY/2016/2242** Officer: Robbie McNaugher
 Decision: GTD Decision Date: 14/07/2016
 Location: 122-124 High Road N22 6HE
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/3255 to allow for new lift relocated at front entrance, internal layout amendments, 5th floor VRF screen indicated, rear windows size revised and PV panels removed

RES Applications Decided: 9

Application No: **HGY/2016/0503** Officer: Matthew Gunning
 Decision: GTD Decision Date: 22/07/2016
 Location: Coronation Sidings North of Turnpike Lane, Hornsey and Hornsey Depot South of Turnpike Lane N8
 Proposal: Approval of details pursuant to condition 38 (Travel Plan) attached to planning permission HGY/2011/0612

Application No: **HGY/2016/0807** Officer: Matthew Gunning
 Decision: GTD Decision Date: 27/07/2016
 Location: Coronation Sidings, North of Turnpike Lane, Hornsey, and Hornsey Depot, South of Turnpike Lane N8
 Proposal: Approval of details pursuant to condition 22 (facilities above ground for the storage of oils, fuels or chemicals) attached to planning permission HGY/2011/0612

Application No: **HGY/2016/2223** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 12/07/2016
 Location: 9 Cheapside High Road N22 6HH
 Proposal: Approval of details in pursuant of condition 4 (privacy screen) attached to planning permission HGY/2015/3038.

Application No: **HGY/2016/2359** Officer: Matthew Gunning
 Decision: GTD Decision Date: 28/07/2016
 Location: Coronation Sidings, North of Turnpike Lane Hornsey and Hornsey Depot, south of Turnpike Lane N8
 Proposal: Approval of details pursuant to condition 34 (BREEAM) attached to planning permission HGY/2011/0612

Application No:	HGY/2016/2360	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	28/07/2016
Location:	Coronation Sidings, North of Turnpike Lane Hornsey and Hornsey Depot, South of Turnpike Lane N8		
Proposal:	Approval of details pursuant to condition 32 (signage) attached to planning permission HGY/2011/0612		
Application No:	HGY/2016/2390	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	15/08/2016
Location:	122-124 High Road N22 6HE		
Proposal:	Approval of details pursuant to condition 12 (detailed air quality and dust management plan) attached to planning permission HGY/2015/3255		
Application No:	HGY/2016/2394	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	02/08/2016
Location:	122-124 High Road N22 6HE		
Proposal:	Approval of details pursuant to condition 3 (external materials) attached to planning permission HGY/2015/3255		
Application No:	HGY/2016/2414	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	28/07/2016
Location:	Coronation Sidings, North of Turnpike Lane, Hornsey, and Hornsey Depot, South of Turnpike Lane N8		
Proposal:	Approval of details pursuant to condition 17 (c) (certificate demonstrating imported and/or material left in situ) attached to planning permission HGY/2011/0612		
Application No:	HGY/2016/2432	Officer:	Matthew Gunning
Decision:	GTD	Decision Date:	29/07/2016
Location:	Coronation Sidings, North of Turnpike Lane, Hornsey, and Hornsey Depot, South of Turnpike Lane N8		
Proposal:	Approval of details pursuant to condition 20 (Archaeological Watching Brief) attached to planning permission HGY/2011/0612 following partial discharge of condition under HGY/2012/0769.		

Total Applications Decided for Ward: 35

WARD: Northumberland Park

ADV Applications Decided: 1

Application No:	HGY/2016/1754	Officer:	David Farndon
Decision:	GTD	Decision Date:	27/07/2016
Location:	809-811 High Road N17 8ER		
Proposal:	Display of 2 x externally illuminated fascia signs and 1 x externally illuminated hanging sign		

CLDE Applications Decided: 1

Application No:	HGY/2016/1676	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	14/07/2016
Location:	17 Kings Road N17 8NP		
Proposal:	Use of property as HMO (certificate of lawfulness for an existing use)		

CLUP Applications Decided: 1

Application No: **HGY/2016/1634** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 14/07/2016
 Location: 14 Bruce Castle Road N17 8NJ
 Proposal: Certificate of lawfulness for demolition of existing extension and construction of new extension

COND Applications Decided: 2

Application No: **HGY/2016/1456** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 29/06/2016
 Location: 7 Orchard Place N17 8BH
 Proposal: Removal of Conditions 9 (Sound Insulation) and 10 (Contamination/Remediation) attached to Planning Permission HGY/2011/1157 as conditions 9 and 10 are inappropriate

Application No: **HGY/2016/1858** Officer: David Farndon
 Decision: GTD Decision Date: 02/08/2016
 Location: 74 Manor Road N17 0JJ
 Proposal: Removal of Condition 8 (Affordable Housing Contribution) following grant of Planning Permission HGY/2015/1071

FUL Applications Decided: 13

Application No: **HGY/2014/0366** Officer: Laurence Ackrill
 Decision: REF Decision Date: 11/08/2016
 Location: 69 St Pauls Road N17 0ND
 Proposal: Change of use from C3 (dwelling house) to C4 (house in multiple occupation) HMO

Application No: **HGY/2016/0681** Officer: Samuel Uff
 Decision: GTD Decision Date: 08/07/2016
 Location: 848 High Road N17 0EY
 Proposal: Single storey rear extension for additional storage area

Application No: **HGY/2016/1426** Officer: Duncan McKane
 Decision: GTD Decision Date: 28/06/2016
 Location: Flats 1 - 5 4 St Pauls Road N17 0NJ
 Proposal: Installation of external wall insulation including new render finish to front (50mm depth), side and rear elevations (100mm depth)

Application No: **HGY/2016/1429** Officer: Duncan McKane
 Decision: GTD Decision Date: 28/06/2016
 Location: Flats A - D 132 Park Lane N17 0JP
 Proposal: Installation of external wall insulation including new render finish to front (50mm depth) and rear elevations (100mm depth)

Application No: **HGY/2016/1478** Officer: Zulema Nakata
 Decision: GTD Decision Date: 11/07/2016
 Location: 701 - 703 Sports Centre High Road N17 8AD
 Proposal: Retention of temporary ticket office and proposed installation of three temporary retail units until 31 July 2017, along with associated permanent landscaping and environmental improvements, including the formation of a new pedestrian access

Application No:	HGY/2016/1503	Officer:	David Farndon
Decision:	GTD	Decision Date:	12/07/2016
Location:	69 Durban Road N17 8ED		
Proposal:	Erection of single storey rear 'wraparound' extension		
Application No:	HGY/2016/1728	Officer:	David Farndon
Decision:	REF	Decision Date:	22/07/2016
Location:	803 High Road N17 8ER		
Proposal:	Refurbishment of the existing upper residential rooms into 6 self-contained units involving minor alterations to the rear elevation, infill extension at first and second floor levels and associated window changes on a rear flank elevation		
Application No:	HGY/2016/1733	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	22/07/2016
Location:	84 Brantwood Road N17 0EU		
Proposal:	Erection of 3m single storey rear extension		
Application No:	HGY/2016/1739	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	22/07/2016
Location:	84 Brantwood Road N17 0EU		
Proposal:	Formation of loft conversion with rear dormer		
Application No:	HGY/2016/1799	Officer:	Duncan McKane
Decision:	REF	Decision Date:	28/07/2016
Location:	11 Chalgrove Road N17 0NP		
Proposal:	Erection of part single storey and part two storey rear and side extension		
Application No:	HGY/2016/1826	Officer:	Laurence Ackrill
Decision:	REF	Decision Date:	29/07/2016
Location:	20 Trulock Road N17 0PH		
Proposal:	Conversion of single dwelling (C3 use class) to 6 x HMO (C4 use class) units		
Application No:	HGY/2016/2085	Officer:	David Farndon
Decision:	GTD	Decision Date:	18/08/2016
Location:	Antwerp Arms 168 Church Road N17 8AS		
Proposal:	Erection of a ground floor rear extension and internal alterations		
Application No:	HGY/2016/2089	Officer:	David Farndon
Decision:	REF	Decision Date:	18/08/2016
Location:	Surgery 759 High Road N17 8AH		
Proposal:	Part demolition of single storey rear extension and erection of four storey building linked to existing single storey extension; erection of a roof extension to the main building; the extensions will provide additional surgery space and provide three residential units.		

Application No: **HGY/2016/1472** Officer: David Farndon
 Decision: GTD Decision Date: 30/06/2016
 Location: 822 High Road N17 0EY
 Proposal: Listed Building Consent for repairs and restoration on external envelope including window, brickwork and shopfront including surrounds, and redecorations

NON Applications Decided: 2

Application No: **HGY/2016/1816** Officer: Emma Williamson
 Decision: GTD Decision Date: 20/07/2016
 Location: Tottenham Hotspur Football Club 748 High Road N17 0AP
 Proposal: Non-material amendment following a grant of planning permission HGY/2015/3000 to amend drawings listed under Condition A4 relating to the remodelling of the new stadium west stand main entrance.

Application No: **HGY/2016/1953** Officer: Sarah Madondo
 Decision: GTD Decision Date: 13/07/2016
 Location: Land Adjoining 32 Scotswood Walk N17 0TF
 Proposal: Non-material amendment following a grant of planning permission HGY/2014/2092 to move approved entrance gate sideways by 750mm

RAIL Applications Decided: 2

Application No: **HGY/2016/1375** Officer: Robbie McNaugher
 Decision: PN GRANT Decision Date: 05/07/2016
 Location: Marsh Lane Bridge 1401
 Proposal: Application for Prior Approval under Part 18 of the Town and Country Planning (General Permitted Development) Order 2015 for bridge parapet extensions

Application No: **HGY/2016/1376** Officer: Robbie McNaugher
 Decision: PN GRANT Decision Date: 05/07/2016
 Location: Leaside Road Bridge
 Proposal: Application for Prior Approval under Part 18 of the Town and Country Planning (General Permitted Development) Order 2015 for bridge parapet extensions

RES Applications Decided: 6

Application No: **HGY/2016/0825** Officer: Aaron Lau
 Decision: GTD Decision Date: 05/07/2016
 Location: Unit 11, Mowlem Trading Estate, Leaside Road and land Fronting Watermead Way, N17 0QJ
 Proposal: Approval of details pursuant to condition 8 (contamination / verification report) attached to planning permission HGY/2013/1792

Application No: **HGY/2016/2060** Officer: Zulema Nakata
 Decision: GTD Decision Date: 17/08/2016
 Location: 796 High Road N17 0DH
 Proposal: Approval of details pursuant to condition 8 (Construction Management Plan and Construction Logistics Plan) attached to planning permission HGY/2015/1488

Application No: **HGY/2016/2063** Officer: Zulema Nakata
 Decision: GTD Decision Date: 11/08/2016
 Location: Tottenham Hotspur Football Club 748 High Road N17 0AL
 Proposal: Approval of Details pursuant to Condition B4 (Construction Waste Management Plan) attached to planning permission HGY/2015/3000

Application No: **HGY/2016/2065** Officer: Zulema Nakata
 Decision: GTD Decision Date: 16/08/2016
 Location: Tottenham Hotspur Football Club 748 High Road N17 0AL
 Proposal: Approval of Details pursuant to Condition B7 (Telecommunications) attached to planning permission HGY/2015/3000

Application No: **HGY/2016/2069** Officer: Zulema Nakata
 Decision: GTD Decision Date: 11/08/2016
 Location: Tottenham Hotspur Football Club 748 High Road N17 0AL
 Proposal: Approval of Details pursuant to Condition C4 (Construction Waste Management Plan) attached to planning permission HGY/2015/3000

Application No: **HGY/2016/2077** Officer: Zulema Nakata
 Decision: GTD Decision Date: 11/08/2016
 Location: Tottenham Hotspur Football Club 748 High Road N17 0AL
 Proposal: Approval of Details pursuant to Condition D4 (Construction Waste Management Plan) attached to planning permission HGY/2015/3000

Total Applications Decided for Ward: 29

WARD: **St Anns**

CLDE Applications Decided: 1

Application No: **HGY/2016/2193** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 27/07/2016
 Location: 83 Station Crescent N15 5BG
 Proposal: Lawful Development Certificate for the creation of 2x self-contained flats.

CLUP Applications Decided: 11

Application No: **HGY/2016/1813** Officer: Neil Collins
 Decision: PERM DEV Decision Date: 29/06/2016
 Location: 22 Clarence Road N15 5BB
 Proposal: Certificate of Lawfulness for proposed rear dormer roof extension and installation of roof lights in front roof slope

Application No: **HGY/2016/2059** Officer: Neil Collins
 Decision: PERM DEV Decision Date: 01/07/2016
 Location: 6 Conway Road N15 3BD
 Proposal: Erection of rear dormer roof extension

Application No: **HGY/2016/2189** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 39 Haringay Road N15 3JB
 Proposal: Lawful Development Certificate for the erection of a dormer and 3x rooflights.

Application No: **HGY/2016/2194** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: Right Flat 43 Conway Road N15 3BB
 Proposal: Lawful Development Certificate for the erection of a rear dormer and

Application No: **HGY/2016/2197** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 64 Chesterfield Gardens N4 1LP
 Proposal: Lawful Development Certificate for the erection of a rear dormer

Application No: **HGY/2016/2198** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 52 Chesterfield Gardens N4 1LP
 Proposal: Lawful Development Certificate for the erection of a dormer

Application No: **HGY/2016/2200** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 28/07/2016
 Location: 32 Cranleigh Road N15 3AD
 Proposal: Lawful Development Certificate for the erection of an L-shaped dormer and 3x rooflights.

Application No: **HGY/2016/2343** Officer: Gareth Prosser
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 16 South Grove N15 5QD
 Proposal: Certificate of Lawfulness for a rear dormer window and front roof lights.

Application No: **HGY/2016/2426** Officer: Wendy Robinson
 Decision: PERM DEV Decision Date: 29/07/2016
 Location: 12 Avondale Road N15 3SJ
 Proposal: Certificate of lawfulness for a rear roof dormer extension including insertion of three roof lights to the front roofslope

Application No: **HGY/2016/2482** Officer: Mr N Allen
 Decision: PERM DEV Decision Date: 05/08/2016
 Location: 42 Oulton Road N15 5PY
 Proposal: Lawful Development Certificate for the erection of a proposed dormer and 2x rooflights.

Application No: **HGY/2016/2513** Officer: Mr N Allen
 Decision: PERM DEV Decision Date: 05/08/2016
 Location: 101 Glenwood Road N15 3JS
 Proposal: Lawful Development Certificate for the proposed erection of a dormer and 2x rooflights.

FUL Applications Decided: 8

Application No: **HGY/2016/1074** Officer: Wendy Robinson
 Decision: GTD Decision Date: 20/07/2016
 Location: 150 Harringay Road N15 3HL
 Proposal: Conversion of dwellinghouse into two self contained units comprising 1 x 3 bedroom flat and 1 x 2 bedroom flat with associated refuse and cycle store; single storey infill extension, alterations to roof.

Application No: **HGY/2016/1462** Officer: Neil Collins
 Decision: GTD Decision Date: 07/07/2016
 Location: 105 Stanhope Gardens N4 1HY
 Proposal: Erection of single storey side/rear extension

Application No: **HGY/2016/1805** Officer: Samuel Uff
 Decision: GTD Decision Date: 18/07/2016
 Location: First Floor Flat 6 Harringay Road N15 3JD
 Proposal: A rear roof extension to existing first floor flat

Application No: **HGY/2016/1921** Officer: Gareth Prosser
 Decision: GTD Decision Date: 18/07/2016
 Location: Mimosa 29 Avenue Road N15 5JF
 Proposal: Installation of external wall insulation including new render finish to front, side and rear elevations (100 mm depth)

Application No: **HGY/2016/2056** Officer: Wendy Robinson
 Decision: GTD Decision Date: 29/07/2016
 Location: 26 Alexandra Road N15 5QT
 Proposal: Erection of a single storey rear extension following demolition of an existing extension

Application No: **HGY/2016/2057** Officer: Gareth Prosser
 Decision: GTD Decision Date: 29/07/2016
 Location: 312 St Anns Road N15 3TD
 Proposal: Extension of existing HMO to create a 7 bedroom unit

Application No: **HGY/2016/2322** Officer: Samuel Uff
 Decision: REF Decision Date: 10/08/2016
 Location: 121 Harringay Road N15 3HP
 Proposal: Rear outrigger roof extension, in conjunction with front and rear mansard roof extension to main roof (amendment to roof extensions approved under planning permission HGY/2015/1810)

Application No: **HGY/2016/2323** Officer: Gareth Prosser
 Decision: REF Decision Date: 08/08/2016
 Location: First Floor Flat 16 Stanhope Gardens N4 1HT
 Proposal: Remodelling a small section of existing roof to the rear of a domestic property to form a small external private amenity space

NON Applications Decided: 1

Application No: **HGY/2016/2279** Officer: Aaron Lau
 Decision: GTD Decision Date: 01/08/2016
 Location: Former St Anns Road Police Station 289 St Anns Road N15 5RD
 Proposal: Non-Material Amendment following a grant of planning permission HGY/2015/3729 for changes to Block A (existing building extension), Block B flats and Block C (houses)

PNC Applications Decided: 2

Application No: **HGY/2016/1291** Officer: Nanayaa Ampoma
 Decision: PN REFUSED Decision Date: 06/07/2016
 Location: 34-35 Grand Parade N4 1AQ
 Proposal: Prior Approval for change of use from A1/A2 (mixed use) to C3 (dwelling house)

Application No: **HGY/2016/2012** Officer: Neil Collins
 Decision: PN NOT REQ Decision Date: 19/07/2016
 Location: 1 Woodlands Park Road N15 3RU
 Proposal: Prior approval for change of use from A1/A2 (retail) to C3 (dwellinghouse)

PNE Applications Decided: 2

Application No: **HGY/2016/1704** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 13/07/2016
 Location: 84 Glenwood Road N15 3JR
 Proposal: Erection of single storey rear infill extension which extends beyond the rear wall of the original house by 5.7m, for which the maximum height would be 3.6m and for which the height of the eaves would be 3m

Application No: **HGY/2016/1907** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 22/07/2016
 Location: 101 Stanhope Gardens N4 1HY
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6.0m, for which the maximum height would be 2.9m and for which the height of the eaves would be 2.9m

RES Applications Decided: 1

Application No: **HGY/2016/1887** Officer: Aaron Lau
 Decision: GTD Decision Date: 19/07/2016
 Location: Former St Anns Road Police Station 289 St Anns Road N15 5RD
 Proposal: Approval of details pursuant to condition 9 (single communal boiler) attached to planning permission HGY/2015/3729

Total Applications Decided for Ward: 26WARD: **Seven Sisters****CLDE Applications Decided: 2**

Application No: **HGY/2016/1619** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 14/07/2016
 Location: 87 Fairview Road N15 6TT
 Proposal: Use of property as 6 flats (certificate of lawfulness for an existing use)

Application No: **HGY/2016/2061** Officer: Anthony Traub
 Decision: GTD Decision Date: 18/08/2016
 Location: 150 Hermitage Road N4 1NL
 Proposal: Certificate of Lawfulness for use of property as two self contained flats.

CLUP Applications Decided: 6

Application No: **HGY/2016/1422** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 28/06/2016
 Location: 38-40 Heysham Road N15 6HL
 Proposal: Certificate of Lawfulness for rear dormer extension with roof lights to front roof slope.

Application No:	HGY/2016/1546	Officer:	Anthony Traub	Decision Date:	05/07/2016
Decision:	PERM DEV				
Location:	4 Albert Road N15 6HX				
Proposal:	Certificate of lawfulness for a single storey rear extension and for erection of rear dormer extension with rooflights to front roof slope.				
Application No:	HGY/2016/1586	Officer:	Duncan McKane	Decision Date:	11/07/2016
Decision:	PERM DEV				
Location:	35 Vartry Road N15 6PR				
Proposal:	Certificate of Lawfulness for loft conversion with rear dormer and two roof lights at front roof slope				
Application No:	HGY/2016/1603	Officer:	Duncan McKane	Decision Date:	12/07/2016
Decision:	PERM DEV				
Location:	120 Castlewood Road N15 6BE				
Proposal:	Certificate of lawfulness for erection of single storey first floor rear extension				
Application No:	HGY/2016/1605	Officer:	Duncan McKane	Decision Date:	12/07/2016
Decision:	PERM DEV				
Location:	120 Castlewood Road N15 6BE				
Proposal:	Certificate of lawfulness for loft conversion with rear dormer and two roof windows.				
Application No:	HGY/2016/2586	Officer:	Samuel Uff	Decision Date:	18/08/2016
Decision:	PERM DEV				
Location:	161 Wargrave Avenue N15 6TX				
Proposal:	Certificate of lawfulness for erection of a single storey extension which extends beyond the rear wall of the original house by 5.3m, for which the maximum height would be 3m and for which the height of the eaves would be 3m.				

FUL Applications Decided: 26

Application No:	HGY/2015/1879	Officer:	Sarah Madondo	Decision Date:	12/08/2016
Decision:	GTD				
Location:	121 Crowland Road N15 6UR				
Proposal:	Reduction of the hight of the type 3 loft				
Application No:	HGY/2015/2686	Officer:	Sarah Madondo	Decision Date:	28/07/2016
Decision:	GTD				
Location:	5 Cadoxton Avenue N15 6LB				
Proposal:	Excavation to provide basement level				
Application No:	HGY/2016/0567	Officer:	Samuel Uff	Decision Date:	04/07/2016
Decision:	GTD				
Location:	105 Fairview Road N15 6TT				
Proposal:	Erection of single storey side and rear extension				

Application No:	HGY/2016/1084	Officer:	Samuel Uff
Decision:	REF	Decision Date:	27/07/2016
Location:	54 Rostrevor Avenue N15 6LP		
Proposal:	Excavation to provide basement level with front and rear lightwells		
Application No:	HGY/2016/1220	Officer:	David Farndon
Decision:	GTD	Decision Date:	12/08/2016
Location:	110 Fairview Road N15 6TR		
Proposal:	Erection of a 'Type 3' extension (i.e. an additional storey to the dwellinghouse)		
Application No:	HGY/2016/1223	Officer:	David Farndon
Decision:	REF	Decision Date:	22/07/2016
Location:	69 Gladesmore Road N15 6TL		
Proposal:	Erection of rear first floor extension with roof light to front roof slope		
Application No:	HGY/2016/1228	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	17/08/2016
Location:	72 Ferndale Road N15 6UQ		
Proposal:	Erection of Type 3 loft extension		
Application No:	HGY/2016/1275	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	30/06/2016
Location:	122 Gladesmore Road N15 6TH		
Proposal:	'Type 2' loft extension		
Application No:	HGY/2016/1432	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	28/06/2016
Location:	35 Rostrevor Avenue N15 6LP		
Proposal:	Retrospective application for a basement application		
Application No:	HGY/2016/1483	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	20/07/2016
Location:	6-8 Clifton Gardens N15 6AP		
Proposal:	Erection of ground floor extension to no.6 and first floor extensions to both properties (no.6 & no.8).		
Application No:	HGY/2016/1547	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	06/07/2016
Location:	57-76 Ermine Road N15 6DE		
Proposal:	Replacement of communal main entrance doors with new secure doors of the same design and colour but manufactured in metal.		
Application No:	HGY/2016/1556	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	06/07/2016
Location:	Ground Floor Flat 4 Vartry Road N15 6PT		
Proposal:	Conversion of basement to habitable space for ground floor flat, with front window and rear lightwell		

Application No:	HGY/2016/1617	Officer:	Duncan McKane
Decision:	REF	Decision Date:	14/07/2016
Location:	Flat B 84 Hermitage Road N4 1NL		
Proposal:	Formation of a loft conversion		
Application No:	HGY/2016/1638	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	15/07/2016
Location:	Crowland Primary School Crowland Road N15 6US		
Proposal:	Erection of single-story timber clad multi-use classroom/function room incorporating small kitchen area and toilets, built on unused empty area of school grounds		
Application No:	HGY/2016/1713	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	21/07/2016
Location:	65 Gladesmore Road N15 6TL		
Proposal:	Erection of additional storey 'type 3'		
Application No:	HGY/2016/1727	Officer:	David Farndon
Decision:	GTD	Decision Date:	22/07/2016
Location:	64 Wellington Avenue N15 6BA		
Proposal:	Erection of additional storey "Type 3" (householder application)		
Application No:	HGY/2016/1778	Officer:	David Farndon
Decision:	REF	Decision Date:	27/07/2016
Location:	64 Wellington Avenue N15 6BA		
Proposal:	Erection of first floor rear extension.		
Application No:	HGY/2016/1825	Officer:	Duncan McKane
Decision:	REF	Decision Date:	29/07/2016
Location:	11 Franklin Street N15 6QH		
Proposal:	Creating a basement with front and rear light wells to provide two playrooms; Erection of an additional floor to convert a chalet bungalow into a traditional two storey house (as approved through HGY/2013/0419 & HGY/2015/1800) in conjunction with a part single storey, part two storey rear extension to the proposed main dwelling and addition of a pitched roof to the side extension (previously used as a garage) (as approved through HGY/2015/1800)		
Application No:	HGY/2016/1837	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	01/08/2016
Location:	55 Wellington Avenue N15 6AX		
Proposal:	Erection of additional storey "Type 3"		
Application No:	HGY/2016/1853	Officer:	David Farndon
Decision:	REF	Decision Date:	04/08/2016
Location:	75 Wellington Avenue N15 6AX		
Proposal:	Erection of single storey rear extension		

Application No:	HGY/2016/1869	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	11/08/2016
Location:	First Floor Flat A 30 Ferndale Road N15 6UE		
Proposal:	Erection of loft extension with Juliet balcony and removal of chimney		
Application No:	HGY/2016/1895	Officer:	David Farndon
Decision:	REF	Decision Date:	10/08/2016
Location:	6 Rostrevor Avenue N15 6LR		
Proposal:	Single storey rear extension (retrospective) and first floor rear addition.		
Application No:	HGY/2016/1927	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	09/08/2016
Location:	282 Hermitage Road N4 1NR		
Proposal:	The enlargement of the property (4 flats) by development incorporating a single storey rear extension, rear dormer roof extension and an extension on the roof of a rear outrigger.		
Application No:	HGY/2016/1975	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	11/08/2016
Location:	60A Plevna Crescent N15 6DW		
Proposal:	Application for a roof extension consisting of the addition of an entirely new floor to create a 3 storey dwellinghouse		
Application No:	HGY/2016/1978	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	11/08/2016
Location:	33 Wargrave Avenue N15 6UH		
Proposal:	Erection of additional storey "Type 3" and first floor rear extension (householder application)		
Application No:	HGY/2016/1995	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	12/08/2016
Location:	74 Ferndale Road N15 6UQ		
Proposal:	Reversion of property from 2 self contained flats to a single dwelling and erection of a 'type 3' roof extension		

PNE Applications Decided: 10

Application No:	HGY/2016/1474	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	27/06/2016
Location:	35 Vartry Road N15 6PR		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.15m and for which the height of the eaves would be 3m		
Application No:	HGY/2016/1550	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	01/07/2016
Location:	5 Hillside Road N15 6LU		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 5.335m, for which the maximum height would be 3m and for which the height of the eaves would be 2.85m		
Application No:	HGY/2016/1630	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	08/07/2016
Location:	64 Wellington Avenue N15 6BA		
Proposal:	Erection of single storey rear extension which extends beyond the rear wall of the original house by 4.7m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		

Application No:	HGY/2016/1633	Officer:	Anthony Traub
Decision:	PN REFUSED	Decision Date:	08/07/2016
Location:	33 Wargrave Avenue N15 6UH		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 4.75m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		
Application No:	HGY/2016/1770	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	21/07/2016
Location:	54 Rostrevor Avenue N15 6LP		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		
Application No:	HGY/2016/2088	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	15/08/2016
Location:	8 Vale Road N4 1PZ		
Proposal:	Erection of a single storey extension which extends beyond the rear wall of the original house by 2.5/5.2m, for which the maximum height would be 2.9m and for which the height of the eaves would be 2.9m		
Application No:	HGY/2016/2112	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	16/08/2016
Location:	8 Wellington Avenue N15 6AS		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 4.6m, for which the maximum height would be 3m and for which the height of the eaves would be 2.5m		
Application No:	HGY/2016/2124	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	16/08/2016
Location:	139 Fairview Road N15 6TS		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 3.5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		
Application No:	HGY/2016/2207	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	16/08/2016
Location:	48 Ferndale Road N15 6UQ		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		
Application No:	HGY/2016/2224	Officer:	Anthony Traub
Decision:	PN NOT REQ	Decision Date:	17/08/2016
Location:	14 Wellington Avenue N15 6AS		
Proposal:	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m		

RES Applications Decided: 1

Application No:	HGY/2016/1527	Officer:	David Farndon
Decision:	GTD	Decision Date:	04/07/2016
Location:	24 Gladesmore Road N15 6TB		
Proposal:	Approval of details pursuant to Condition 6 (Hydrological and Hydro-Geological impacts report) attached to planning permission HGY/2015/1176		

Total Applications Decided for Ward: 45

WARD: **Stroud Green**

CLDE Applications Decided: 1

Application No: **HGY/2016/1583** Officer: Laurence Ackrill
 Decision: REF Decision Date: 11/07/2016
 Location: 2 Mount Pleasant Crescent N4 4HP
 Proposal: Certificate of lawfulness for use of property as one studio flat on first floor and 1 x 2 bed flat on 2nd / 3rd floor

FLEX Applications Decided: 1

Application No: **HGY/2016/1973** Officer: Fortune Gumbo
 Decision: FLEXGTD Decision Date: 07/07/2016
 Location: 38A Stroud Green Road N4 3ES
 Proposal: Flexible Change of use under Class D of the Town and Country Planning (General Permitted Development) (Amendment) (England) Order 2013 starting from 01.06.2016: Existing Use Class A1 - (Retail) Proposed Use Class A2 (Financial and Professional Services)

FUL Applications Decided: 35

Application No: **HGY/2016/0550** Officer: Adam Flynn
 Decision: GTD Decision Date: 25/07/2016
 Location: 72 Stapleton Hall Road N4 4QA
 Proposal: Conversion of existing unlicensed 6 bedsits to create 3 self-contained flats, including basement accommodation with lightwells to the front and rear, ground floor rear extension and part first floor rear extension, and rear dormer extensions with rooflights to front roof slope

Application No: **HGY/2016/0919** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 29/06/2016
 Location: 19 Upper Tollington Park N4 3EJ
 Proposal: Erection of a replacement two-storey rear extension and conversion of existing 7 room HMO into 1 x 2 and 1 x 3 bedroom maisonettes

Application No: **HGY/2016/1081** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/08/2016
 Location: 8 Inderwick Road N8 9LD
 Proposal: Erection of single storey rear extension and formation of loft conversion with rear dormer and front rooflights

Application No: **HGY/2016/1368** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 05/07/2016
 Location: Flat 4 14 Granville Road N4 4EL
 Proposal: Recovering of flat roof and installation of rooflights

Application No: **HGY/2016/1378** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 01/07/2016
 Location: Flat 1 39 Ferme Park Road N4 4EB
 Proposal: Installation of an out building to serve as a garden office at the end of the garden

Application No: **HGY/2016/1428** Officer: David Farndon
 Decision: GTD Decision Date: 28/06/2016
 Location: Flat C 3 Florence Road N4 4BU
 Proposal: Formation of loft conversion with rear dormer and two rooflights to front roof slope

Application No:	HGY/2016/1464	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	29/06/2016
Location:	Flat B 12 Lancaster Road N4 4PP		
Proposal:	Reconstruction of the street facing roofslope (materials and form to match existing) including installation of two openable, conservation-style rooflights (780mm wide) set as flush as possible with the roof slates. Construction of a dormer to the rear roof slope to match the neighbor's approved dormer at number 10 Lancaster Road, set back 950mm min from the eaves, dormer ridge set nominally lower than the existing main roof ridge level (200mm). The dormer's distances from west and east side brick parapet walls are 2000mm and 300mm respectively. Reconstruction of the rear (garden side) roof slope, including installation of a rooflight.		
Application No:	HGY/2016/1490	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	04/08/2016
Location:	102A Uplands Road N8 9NJ		
Proposal:	Formation of dormer loft conversion and installation of front roof lights		
Application No:	HGY/2016/1491	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	07/07/2016
Location:	Unit 1 2-8 Upper Tollington Park N4 3EL		
Proposal:	Part Change of Use to from mini cab office to a Caribbean Take Away (Use Class A5)		
Application No:	HGY/2016/1522	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	12/08/2016
Location:	Flat A 37 Nelson Road N8 9RX		
Proposal:	Demolition of existing extension and construction of new extension		
Application No:	HGY/2016/1526	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	04/07/2016
Location:	3 Connaught Road N4 4NT		
Proposal:	Erection of single storey wrap around extension to the ground floor.		
Application No:	HGY/2016/1616	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	18/07/2016
Location:	Flat A 49 Lorne Road N4 3RU		
Proposal:	Erection of single storey rear side extension		
Application No:	HGY/2016/1621	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	14/07/2016
Location:	25 Upper Tollington Park N4 3EJ		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1653	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	18/07/2016
Location:	First Floor Flat 146 Weston Park N8 9PN		
Proposal:	Loft Conversion and extension forming two additional bedrooms with a Juliet Balcony		

Application No:	HGY/2016/1657	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	14/07/2016
Location:	98 Ferme Park Road N8 9SD		
Proposal:	Replacement of existing timber casement and timber sash windows to the front, rear and side elevations to uPVC casement windows		
Application No:	HGY/2016/1659	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	12/07/2016
Location:	23 Mount Pleasant Villas N4 4HH		
Proposal:	Demolition of existing rear extension and replacement with new single storey half width rear extension in same location.		
Application No:	HGY/2016/1678	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	19/07/2016
Location:	Basement Flat 1 154 Stapleton Hall Road N4 4QJ		
Proposal:	Erection of single storey rear extension		
Application No:	HGY/2016/1683	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	19/07/2016
Location:	5 Connaught Road N4 4NT		
Proposal:	Erection of single storey side extension.		
Application No:	HGY/2016/1684	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	19/07/2016
Location:	6 Connaught Road N4 4NS		
Proposal:	Erection of single storey side infill extension.		
Application No:	HGY/2016/1707	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	20/07/2016
Location:	First Floor Flat 94 Inderwick Road N8 9JY		
Proposal:	Loft conversion with rear dormer and 2 front rooflights		
Application No:	HGY/2016/1708	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	20/07/2016
Location:	First Floor Flat 94 Inderwick Road N8 9JY		
Proposal:	Loft conversion with rear dormer and 2 front rooflights		
Application No:	HGY/2016/1711	Officer:	Laurence Ackrill
Decision:	REF	Decision Date:	20/07/2016
Location:	Flat C 33 Nelson Road N8 9RX		
Proposal:	Erection of a rear extension over the existing extension of the ground and first floor.		
Application No:	HGY/2016/1726	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	21/07/2016
Location:	104 Mount View Road N4 4JX		
Proposal:	Erection of a single story rear extension.		

Application No:	HGY/2016/1771	Officer:	Valerie Okeiyi
Decision:	GTD	Decision Date:	27/07/2016
Location:	Flat B 8 Lancaster Road N4 4PP		
Proposal:	Erection of garden shed in rear garden		
Application No:	HGY/2016/1785	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	27/07/2016
Location:	Flat D 109 Mount View Road N4 4JH		
Proposal:	Enlargement of existing rear box dormer.		
Application No:	HGY/2016/1817	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	28/07/2016
Location:	18 Mount Pleasant Villas N4 4HD		
Proposal:	Addition of glazed side extension (approx 1.45m wide) to the existing single storey kitchen extension and provision of new roof to be used as terrace		
Application No:	HGY/2016/1855	Officer:	Valerie Okeiyi
Decision:	REF	Decision Date:	02/08/2016
Location:	First Floor Flat 110 Inderwick Road N8 9JY		
Proposal:	Formation of rear dormer and flat roof to existing first floor flat of terrace house. Alterations to existing windows for new larger windows		
Application No:	HGY/2016/1916	Officer:	Sarah Madondo
Decision:	GTD	Decision Date:	08/08/2016
Location:	Flat A 148 Ferme Park Road N8 9SE		
Proposal:	Lower ground floor extension at the rear of the property		
Application No:	HGY/2016/1928	Officer:	Sarah Madondo
Decision:	REF	Decision Date:	09/08/2016
Location:	12 Victoria Terrace N4 4DA		
Proposal:	Erection of single storey roof extension rooflights and green roof.		
Application No:	HGY/2016/1931	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	01/08/2016
Location:	Flat 2 168 Ferme Park Road N8 9SE		
Proposal:	Demolition of existing side returns extension and addition of new full width single storey extension.		
Application No:	HGY/2016/1971	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	10/08/2016
Location:	52 Perth Road N4 3HB		
Proposal:	Rebuilding and extension of existing single story extension, replacement of poor quality metal windows with traditional wood sash windows		
Application No:	HGY/2016/1974	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	10/08/2016
Location:	Flat A 110 Weston Park N8 9PN		
Proposal:	Erection of single storey side return and rear extension to ground floor		

Application No: **HGY/2016/2031** Officer: Sarah Madondo
 Decision: GTD Decision Date: 16/08/2016
 Location: Flat 1 26 Stapleton Hall Road N4 3QD
 Proposal: Erection of side extension and small rear addition.

Application No: **HGY/2016/2046** Officer: Tobias Finlayson
 Decision: GTD Decision Date: 16/08/2016
 Location: 88 Stapleton Hall Road N4 4QA
 Proposal: Erection of single storey rear extension.

Application No: **HGY/2016/2122** Officer: Sarah Madondo
 Decision: GTD Decision Date: 19/08/2016
 Location: Flat 3 64 Ridge Road N8 9LH
 Proposal: Internal alterations and replacement of windows

LCD Applications Decided: 3

Application No: **HGY/2016/1336** Officer: Sarah Madondo
 Decision: GTD Decision Date: 30/06/2016
 Location: Flats A, B & C 62 Upper Tollington Park N4 4BX
 Proposal: Replacement windows and doors

Application No: **HGY/2016/1447** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 28/06/2016
 Location: 47 & 47A Albert Road N4 3RP
 Proposal: Replacement windows and doors

Application No: **HGY/2016/1449** Officer: Sarah Madondo
 Decision: GTD Decision Date: 28/06/2016
 Location: Flats A & B 100 Ferme Park Road N8 9SD
 Proposal: Replacement windows and doors

PNE Applications Decided: 1

Application No: **HGY/2016/2201** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 09/08/2016
 Location: 8 Inderwick Road N8 9LD
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3.4m and for which the height of the eaves would be 2.4m

RES Applications Decided: 5

Application No: **HGY/2016/1206** Officer: Robbie McNaugher
 Decision: GTD Decision Date: 01/08/2016
 Location: 1 Ferme Park Road N4 4DS
 Proposal: Approval of details pursuant to Condition 4 (extract fans and flues) attached to planning permission HGY/2012/1536

Application No: **HGY/2016/1207** Officer: Robbie McNaugher
 Decision: GTD Decision Date: 01/08/2016
 Location: 1 Ferme Park Road N4 4DS
 Proposal: Approval of details pursuant to Condition 5 (refuse and waste storage and recycling facilities) attached to planning permission HGY/2012/1536

Application No: **HGY/2016/1208** Officer: Robbie McNaugher
 Decision: GTD Decision Date: 01/08/2016
 Location: 1 Ferme Park Road N4 4DS
 Proposal: Approval of details pursuant to Condition 9 (Structural Engineers drawings) attached to planning permission HGY/2012/1536

Application No: **HGY/2016/1823** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/07/2016
 Location: 38 Oakfield Road N4 4NL
 Proposal: Approval of details pursuant to condition 3 (materials) attached to planning permission HGY/2013/1420

Application No: **HGY/2016/1824** Officer: Sarah Madondo
 Decision: GTD Decision Date: 21/07/2016
 Location: 38 Oakfield Road N4 4NL
 Proposal: Approval of details pursuant to condition 8 (details of green roof) attached to planning permission HGY/2013/1420

TPO Applications Decided: 3

Application No: **HGY/2016/1498** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 11/07/2016
 Location: 95 Mayfield Road N8 9LN
 Proposal: Tree works to include re-pollard to previous points and remove epicormic on trunk of 2 x Lime trees

Application No: **HGY/2016/1500** Officer: Duncan McKane
 Decision: GTD Decision Date: 11/07/2016
 Location: 8 Ridge Road N8 9LG
 Proposal: Tree works to include reduce the crowns by 2-2.5m of 2 x Lime trees

Application No: **HGY/2016/2023** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 02/08/2016
 Location: 175 Mount View Road N4 4JT
 Proposal: Tree works to include felling to ground level of 1 x Lime tree

Total Applications Decided for Ward: 49WARD: **Tottenham Green****ADV Applications Decided: 1**

Application No: **HGY/2016/1856** Officer: David Farndon
 Decision: GTD Decision Date: 02/08/2016
 Location: Unit C4 Tottenham Hale Retail Park Broad Lane N15 4QD
 Proposal: Display of 1 x internally illuminated fascia sign and 1 x non-illuminated vinyl graphics sign

CLUP Applications Decided: 3

Application No: **HGY/2016/1636** Officer: Anthony Traub
 Decision: PERM REQ Decision Date: 12/07/2016
 Location: 119 Broad Lane N15 4DP
 Proposal: Certificate of Lawfulness for a rear dormer extension with roof lights to front roof space

Application No: **HGY/2016/1656** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 14/07/2016
 Location: 52 Greenfield Road N15 5EP
 Proposal: Certificate of Lawfulness for loft conversion

Application No: **HGY/2016/1710** Officer: Duncan McKane
 Decision: PERM DEV Decision Date: 20/07/2016
 Location: 15 Colless Road N15 4NR
 Proposal: Certificate of lawfulness for loft conversion

FUL Applications Decided: 18

Application No: **HGY/2015/2902** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 27/06/2016
 Location: 196-198 West Green Road N15 5AG

Proposal: Demolition of existing hand car wash and garage commercial unit with rear warehouse buildings, and erection of new commercial unit (B1) at ground floor level and 2x one bed flats and 2x two bed flat at first and second floor levels (Amended scheme to replace the approved ground floor level commercial units with 2 x 1 bed flats on the front building and 1 x 2 bed flat to the rear boundary)

Application No: **HGY/2015/3504** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 11/07/2016
 Location: 316 High Road N15 4BP

Proposal: Demolition of existing building and erection of a four storey building comprising two ground floor retail units (in flexible Class A1/A2 use) 2 x 1 bed flats, 3 x 2 bed flats and 1 x 3 bed flat (Class C3 use) with a communal roof terrace.

Application No: **HGY/2015/3578** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 12/07/2016
 Location: The partial ground floor of 2a Westerfield Road and 687F Seven Sisters Road N15 5LD

Proposal: Construction of new residential block comprising 2 x 2 bed flats and 1 x 1 bed flat to replace the existing commercial units

Application No: **HGY/2016/1417** Officer: David Farndon
 Decision: GTD Decision Date: 06/07/2016
 Location: Land to the rear of 97 Philip Lane N15 4JR

Proposal: Erection of a building to create two flats: 1 x 2 bed and 1 x 3 bed flats.

Application No: **HGY/2016/1436** Officer: David Farndon
 Decision: GTD Decision Date: 28/06/2016
 Location: 77 Broad Lane N15 4DW

Proposal: Erection of a roof extension to facilitate internal alterations to the layout of the upper floor flat so to provide an additional bedroom.

Application No:	HGY/2016/1581	Officer:	David Farndon
Decision:	REF	Decision Date:	11/07/2016
Location:	45 Roslyn Road N15 5JB		
Proposal:	Conversion of property into two self contained flats 1 x 1 bed and 1 x 2 bed, rear dormer extension with Juliet balcony and single storey rear extension and roof light to front roof slope.		
Application No:	HGY/2016/1587	Officer:	David Farndon
Decision:	REF	Decision Date:	11/07/2016
Location:	81 Roslyn Road N15 5JB		
Proposal:	Erection of a rear roof extension, including to the outrigger; erection of a single storey rear wraparound extension; erection of a porch; insertion of sash windows, and other minor alterations.		
Application No:	HGY/2016/1602	Officer:	David Farndon
Decision:	GTD	Decision Date:	12/07/2016
Location:	14 Collingwood Road N15 4LD		
Proposal:	Replacement of existing UPVC windows with new white painted double glazed timber sash on front elevation and new white painted double glazed timber casement windows on rear elevation; alterations to fenestration openings on the front and rear elevation; rebuilding of roof on existing single storey rear extension		
Application No:	HGY/2016/1609	Officer:	Laurence Ackrill
Decision:	GTD	Decision Date:	12/07/2016
Location:	11-13 Lawrence Road N15 4EN		
Proposal:	Loft conversion with 2 rear dormers, erection of first floor extension to rear, subdivision of first floor flat into 3 self contained studios, reposition of staircase and front door to shop front		
Application No:	HGY/2016/1740	Officer:	David Farndon
Decision:	GTD	Decision Date:	26/07/2016
Location:	21 Harold Road N15 4PL		
Proposal:	Demolition of existing single storey rear extension and replacement with a new single storey extension. Replacement of hipped roof with a gable roof, loft conversion and dormer		
Application No:	HGY/2016/1760	Officer:	Tobias Finlayson
Decision:	GTD	Decision Date:	27/07/2016
Location:	27 Harold Road N15 4PL		
Proposal:	Extension of existing garage.		
Application No:	HGY/2016/1979	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	09/08/2016
Location:	First Floor Flat 55 Tynemouth Road N15 4AU		
Proposal:	Roof extension with 2 roof windows to the front slope		
Application No:	HGY/2016/1980	Officer:	David Farndon
Decision:	REF	Decision Date:	11/08/2016
Location:	94 West Green Road N15 5NS		
Proposal:	Demolition of existing single storey garage to rear of site and construction of new two storey dwellinghouse with access off Winns Mews		
Application No:	HGY/2016/2010	Officer:	David Farndon
Decision:	GTD	Decision Date:	15/08/2016
Location:	83 Beaconsfield Road N15 4SH		
Proposal:	Erection of a single storey rear infill extension to the flank of the outrigger and a single storey rear extension to the rear of the outrigger		

Application No: **HGY/2016/2011** Officer: Duncan McKane
 Decision: GTD Decision Date: 15/08/2016
 Location: 159-161 Philip Lane N15 4HQ
 Proposal: Replacement of windows and doors to multi-occupancy dwelling with like for like timber framed windows to the front elevation and upvc to the rear.

Application No: **HGY/2016/2037** Officer: David Farndon
 Decision: REF Decision Date: 16/08/2016
 Location: 229 Philip Lane N15 4HL
 Proposal: Erection of single storey side/rear extension and conversion of house into two self contained flats

Application No: **HGY/2016/2093** Officer: Roland Sheldon
 Decision: REF Decision Date: 18/08/2016
 Location: 80 Beaconsfield Road N15 4SJ
 Proposal: Conversion into two flats, 1 x 2 bed and 1 x 3 bed and erection of rear first floor extension.

Application No: **HGY/2016/2099** Officer: Duncan McKane
 Decision: GTD Decision Date: 18/08/2016
 Location: Gaunson House Markfield Road N15 4QQ
 Proposal: External revisions to approved application HGY/2015/2417

NON Applications Decided: 9

Application No: **HGY/2016/1349** Officer: Adam Flynn
 Decision: GTD Decision Date: 14/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 16 (noise/glazing)

Application No: **HGY/2016/1350** Officer: Adam Flynn
 Decision: GTD Decision Date: 14/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 21 (construction management plan)

Application No: **HGY/2016/1351** Officer: Adam Flynn
 Decision: GTD Decision Date: 14/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 24 (demolition management plan)

Application No: **HGY/2016/1352** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 25 (photovoltaics)

Application No: **HGY/2016/1353** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 26 (green/brown roofs)

Application No: **HGY/2016/1354** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 31 (rainwater harvesting)

Application No: **HGY/2016/1355** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 32 (LUL)

Application No: **HGY/2016/1356** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 14 (landscaping)

Application No: **HGY/2016/1357** Officer: Adam Flynn
 Decision: GTD Decision Date: 15/07/2016
 Location: Wards Corner Site, High Road N15
 Proposal: Non-material amendment following a grant of planning permission HGY/2012/0915 to adjust the phase in construction works for discharge of condition 6 (refuse storage)

PNE Applications Decided: 3

Application No: **HGY/2016/1476** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 27/06/2016
 Location: 101 Roslyn Road N15 5JB
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5.06m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/1591** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 30/06/2016
 Location: 52 Greenfield Road N15 5EP
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 3.5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2103** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 16/08/2016
 Location: 28 Seaford Road N15 5DY
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 3.2m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

RAIL Applications Decided: 1

Application No: **HGY/2016/1374** Officer: Robbie McNaugher
 Decision: PN GRANT Decision Date: 05/07/2016
 Location: TAH2 Intersection Bridge
 Proposal: Application for Prior Approval under Part 18 of the Town and Country Planning (General Permitted Development) Order 2015 for bridge parapet height extension

RES Applications Decided: 13

Application No:	HGY/2016/1271	Officer:	Adam Flynn	Decision Date:	01/08/2016
Decision:	GTD				
Location:	Unit 2 Fountayne Business Centre Broad Lane N15 4EQ				
Proposal:	Approval of Details pursuant to Condition 8 (Construction Management Plan) attached to Planning Permission HGY/2016/0425				
Application No:	HGY/2016/1274	Officer:	Adam Flynn	Decision Date:	01/08/2016
Decision:	GTD				
Location:	Unit 2 Fountayne Business Centre Broad Lane N15 4EQ				
Proposal:	Approval of Details pursuant to Condition 10 (Type and Location of Secure and Covered cycle parking facilities) attached to Planning Permission HGY/2016/0425				
Application No:	HGY/2016/1508	Officer:	Duncan McKane	Decision Date:	05/07/2016
Decision:	GTD				
Location:	Tynemouth House Tynemouth Road N15 4AT				
Proposal:	Approval of details pursuant to condition 3 (waste and recycling) attached to planning permission HYG/2013/0002				
Application No:	HGY/2016/1520	Officer:	Adam Flynn	Decision Date:	07/07/2016
Decision:	GTD				
Location:	Unit 2 Fountayne Business Centre Broad Lane N15 4EQ				
Proposal:	Approval of Details pursuant to Condition 4 (external materials) attached to Planning Permission HGY/2016/0425				
Application No:	HGY/2016/1572	Officer:	David Farndon	Decision Date:	01/08/2016
Decision:	GTD				
Location:	23A Summerhill Road N15 4HF				
Proposal:	Approval of details pursuant to condition 3 (materials) attached to planning permission HGY/2015/3655				
Application No:	HGY/2016/1793	Officer:	Valerie Okeiyi	Decision Date:	27/07/2016
Decision:	GTD				
Location:	The West Green Tavern 68 West Green Road N15 5NR				
Proposal:	Approval of details pursuant to Condition 8 (Construction Logistics Plan) attached to planning permission HGY/2014/0633				
Application No:	HGY/2016/1794	Officer:	Valerie Okeiyi	Decision Date:	27/07/2016
Decision:	GTD				
Location:	The West Green Tavern 68 West Green Road N15 5NR				
Proposal:	Approval of details pursuant Condition 10 (Proposed Roof & Roof of Terrace) attached to planning permission HGY/2014/0633				
Application No:	HGY/2016/1797	Officer:	Valerie Okeiyi	Decision Date:	01/08/2016
Decision:	GTD				
Location:	The West Green Tavern 68 West Green Road N15 5NR				
Proposal:	Approval of details pursuant Condition 13 (Window Details) attached to planning permission HGY/2014/0633				
Application No:	HGY/2016/1827	Officer:	Valerie Okeiyi	Decision Date:	29/07/2016
Decision:	GTD				
Location:	The West Green Tavern 68 West Green Road N15 5NR				
Proposal:	Approval of details pursuant to condition 3 (materials) attached to planning permission HGY2015/2378				

Application No: **HGY/2016/1828** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 29/07/2016
 Location: The West Green Tavern 68 West Green Road N15 5NR
 Proposal: Approval of details pursuant to condition 5 (provision of refuse and waste storage and recycling facilities) attached to planning permission HGY2015/2378

Application No: **HGY/2016/1829** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 29/07/2016
 Location: The West Green Tavern 68 West Green Road N15 5NR
 Proposal: Approval of details pursuant to condition 6 (satellite dish location) attached to planning permission HGY2015/2378

Application No: **HGY/2016/2014** Officer: Adam Flynn
 Decision: GTD Decision Date: 09/08/2016
 Location: Unit 2 Fountayne Business Centre Broad Lane N15 4EQ
 Proposal: Approval of details pursuant to condition 6 (Flood Risk Management Plan) attached to planning permission HGY/2016/0425

Application No: **HGY/2016/2102** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 16/08/2016
 Location: 160 Page Green Terrace N15 4NU
 Proposal: Approval of details pursuant to Condition 2 (storage and collection of refuse) attached to planning permission HGY/2015/1505

Total Applications Decided for Ward: 48

WARD: **Tottenham Hale**

ADV Applications Decided: 1

Application No: **HGY/2015/2296** Officer: Laurence Ackrill
 Decision: NOT DET Decision Date: 08/08/2016
 Location: Various Sites on High Road & White Hart Lane N17
 Proposal: Display of non-illuminated lamp post barrier advertisements on High Road x 49 and White Hart Lane x 9 (58 in total)

CLDE Applications Decided: 5

Application No: **HGY/2016/1534** Officer: Duncan McKane
 Decision: GTD Decision Date: 04/07/2016
 Location: 60a Rosebery Avenue N17 9SA
 Proposal: Certificate of Lawfulness for use as three self contained flats

Application No: **HGY/2016/1535** Officer: Duncan McKane
 Decision: GTD Decision Date: 05/07/2016
 Location: 60b Rosebery Avenue N17 9SA
 Proposal: Certificate of Lawfulness for use as three self contained flats

Application No: **HGY/2016/1798** Officer: Anthony Traub
 Decision: GTD Decision Date: 28/06/2016
 Location: 33 Halefield Road N17 9XR
 Proposal: Certificate of Lawfulness for a rear dormer loft conversion with a Juliet balcony

Application No: **HGY/2016/1863** Officer: Anthony Traub
 Decision: GTD Decision Date: 03/08/2016
 Location: 102 Scales Road N17 9EZ
 Proposal: Certificate of lawfulness for use as two flats

Application No: **HGY/2016/1864** Officer: Anthony Traub
 Decision: GTD Decision Date: 03/08/2016
 Location: 104 Scales Road N17 9EZ
 Proposal: Certificate of Lawfulness for use as two flats

CLUP Applications Decided: 3

Application No: **HGY/2016/1670** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 18/07/2016
 Location: Flat 14 Vickers Court Lebus Street N17 9FP
 Proposal: Certificate of Lawfulness for use of premises to take bookings for private hire chauffeur service

Application No: **HGY/2016/1988** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 01/08/2016
 Location: 5 Parkhurst Road N17 9RB
 Proposal: Certificate of lawfulness for loft conversion with rear dormer and front rooflights

Application No: **HGY/2016/2042** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 04/08/2016
 Location: 15 Scales Road N17 9HB
 Proposal: Certificate of Lawfulness for a rear dormer extension with roof lights to front roof slope

EIA1 Applications Decided: 1

Application No: **HGY/2016/2136** Officer: Robbie McNaugher
 Decision: EIANOTREQ Decision Date: 28/07/2016
 Location: Station Square West Tottenham Hale N17
 Proposal: Request for Screening Opinion in accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 (as Amended)

FUL Applications Decided: 13

Application No: **HGY/2014/3174** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 05/08/2016
 Location: Land to The Rear 418 High Road N17 9JB
 Proposal: Demolition of garages and erection of a four storey residential building comprising a total of seven flats. The proposed residential mix is 1 x 3 bed flats, 4 x 2 bed flats and 2 x 1 bed flats

Application No: **HGY/2016/0444** Officer: David Farndon
 Decision: GTD Decision Date: 08/07/2016
 Location: Land adjoining The Beehive Stoneleigh Road N17 9BQ
 Proposal: Demolition of existing garages and redevelopment to provide three studio flats (Class C3 Residential); new matching balustrade and access over existing single storey structure; together with associated amenity space, cycle storage, and refuse provision.

Application No:	HGY/2016/1446	Officer:	David Farndon
Decision:	REF	Decision Date:	28/06/2016
Location:	72 Dowsett Road N17 9DD		
Proposal:	Erection of a roof extension including hip to gable, squaring off the existing splay at the front of the building, and the erection of a single storey rear extension.		
Application No:	HGY/2016/1489	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	15/07/2016
Location:	132 Rosebery Avenue N17 9SD		
Proposal:	Extension of property at first floor and roof levels		
Application No:	HGY/2016/1533	Officer:	David Farndon
Decision:	GTD	Decision Date:	04/07/2016
Location:	184 Shelbourne Road N17 9YB		
Proposal:	15/119/1 & 15/119/2		
Application No:	HGY/2016/1560	Officer:	David Farndon
Decision:	REF	Decision Date:	06/07/2016
Location:	14 Poynton Road N17 9SL		
Proposal:	Demolition of existing garage and erection of a one bedroom dwellinghouse; the erection of a dormer on the existing property to the west of the new dwelling alongside a single storey and first floor extension.		
Application No:	HGY/2016/1611	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	26/07/2016
Location:	Land Adjoining Globe Works Marsh Lane N17 1AA		
Proposal:	Enlarge existing gateway and install new fencing to match surroundings.		
Application No:	HGY/2016/1804	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	28/07/2016
Location:	28 Mafeking Road N17 9BG		
Proposal:	Amendments to previously approved scheme (HGY/2014/3260) for a two storey side / part first floor rear extension to alter roof from hip to gable.		
Application No:	HGY/2016/1839	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	01/08/2016
Location:	68 Holcombe Road N17 9AR		
Proposal:	Demolition of part of existing extension and rebuilding within the same existing footprint (householder application)		
Application No:	HGY/2016/1867	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	15/08/2016
Location:	88 Scotland Green N17 9TU		
Proposal:	Erection of infill single storey rear extension and erection of double storey side extension		
Application No:	HGY/2016/2027	Officer:	David Farndon
Decision:	REF	Decision Date:	16/08/2016
Location:	23 Vicarage Road N17 0BB		
Proposal:	Erection of a one bedroom, two storey dwelling in the rear garden area of 23 Vicarage Road.		

Application No: **HGY/2016/2028** Officer: David Farndon
 Decision: REF Decision Date: 16/08/2016
 Location: 23 Vicarage Road N17 0BB
 Proposal: Conversion of property into 1 x 3 bed unit and 1 x 1 bed unit

Application No: **HGY/2016/2107** Officer: Duncan McKane
 Decision: GTD Decision Date: 19/08/2016
 Location: 111 Lansdowne Road N17 0NN
 Proposal: Installation of two rooflights to the front slope & two rooflights to the rear slope to create a loft conversion to a Flat.

PNC Applications Decided: 1

Application No: **HGY/2016/1865** Officer: David Farndon
 Decision: PN GRANT Decision Date: 04/08/2016
 Location: Burlington House Burlington Road N17 9UH
 Proposal: Prior approval for change of use from B1(a) (offices) to C3 (dwelling house)

PNE Applications Decided: 3

Application No: **HGY/2016/1551** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 01/07/2016
 Location: 5 Parkhurst Road N17 9RB
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/1721** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 13/07/2016
 Location: 7 Malvern Road N17 9HH
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.5m and for which the height of the eaves would be 2.5m

Application No: **HGY/2016/2035** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 09/08/2016
 Location: 34 Kimberley Road N17 9BD
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 5.25m, for which the maximum height would be 2.85m and for which the height of the eaves would be 2.85m

RAIL Applications Decided: 2

Application No: **HGY/2016/1372** Officer: Robbie McNaugher
 Decision: PN GRANT Decision Date: 05/07/2016
 Location: Bridge 1393 River Lea Crossing
 Proposal: Application for Prior Approval under Part 18 of the Town and Country Planning (General Permitted Development) Order 2015 for bridge replacement

Application No: **HGY/2016/1373** Officer: Robbie McNaugher
 Decision: PN GRANT Decision Date: 05/07/2016
 Location: Ferry Lane Overbridge A503
 Proposal: Application for Prior Approval under Part 18 of the Town and Country Planning (General Permitted Development) Order 2015 for parapet extension and installation of anti-trespass mesh screen

RES Applications Decided: 3

Application No:	HGY/2016/1537	Officer:	David Farndon
Decision:	GTD	Decision Date:	05/07/2016
Location:	Holcombe Road Market Holcombe Road N17 9AA		
Proposal:	Approval of details pursuant to condition 3 (Method of Construction Statement) attached to planning permission HGY/2013/1613		
Application No:	HGY/2016/2109	Officer:	Duncan McKane
Decision:	GTD	Decision Date:	18/08/2016
Location:	2A Poynton Road N17 9SL		
Proposal:	Approval of Details pursuant to Condition 3, part (a) (Desktop Study) attached to Planning Permission HGY/2014/2946		
Application No:	HGY/2016/2212	Officer:	Robbie McNaugher
Decision:	GTD	Decision Date:	11/07/2016
Location:	Image House Station Road N17 9LR		
Proposal:	Approval of details pursuant to condition 3 (materials) attached to planning permission HGY/2014/0498 (as amended by reference HGY/2014/3022)		

Total Applications Decided for Ward: 32

WARD: **West Green**

CLUP Applications Decided: 6

Application No:	HGY/2016/1814	Officer:	Neil Collins
Decision:	PERM DEV	Decision Date:	29/06/2016
Location:	192 Boundary Road N22 6AJ		
Proposal:	Certificate of Lawfulness for proposed rear dormer roof extension and installation of roof lights in front roof slope		
Application No:	HGY/2016/1919	Officer:	Gareth Prosser
Decision:	PERM DEV	Decision Date:	12/07/2016
Location:	27 Stanmore Road N15 3PR		
Proposal:	Certificate of Lawfulness for a Proposed use: Construction of rear dormer clad in slate, with velux roof lights to front.		
Application No:	HGY/2016/2053	Officer:	Samuel Uff
Decision:	PERM DEV	Decision Date:	21/07/2016
Location:	211 Downhills Way N17 6AH		
Proposal:	Certificate of lawfulness for a rear dormer		
Application No:	HGY/2016/2091	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	05/07/2016
Location:	200 Langham Road N15 3NB		
Proposal:	Certificate of Lawful Development for a rear roof dormer extension and insertion of one roof light to the front roofslope		
Application No:	HGY/2016/2134	Officer:	Nanayaa Ampoma
Decision:	PERM DEV	Decision Date:	12/07/2016
Location:	7 Pendennis Road N17 6LJ		
Proposal:	Certificate of Lawfulness for a rear dormer and 3x front rooflights.		

Application No: **HGY/2016/2336** Officer: Gareth Prosser
 Decision: PERM DEV Decision Date: 21/07/2016
 Location: 183 Downhills Way N17 6AH
 Proposal: Lawful Development Certificate for a rear dormer (Proposed) and front rooflights

COND Applications Decided: 1

Application No: **HGY/2016/1747** Officer: Wendy Robinson
 Decision: GTD Decision Date: 29/06/2016
 Location: 8 Westbury Avenue N22 6BN
 Proposal: Variation of Condition B (Hours of Operation) attached to planning permission HGY/2004/1618

FUL Applications Decided: 9

Application No: **HGY/2016/0930** Officer: Neil Collins
 Decision: GTD Decision Date: 08/08/2016
 Location: 37 Belmont Road N15 3LS
 Proposal: Erection of single storey extension to ground floor flat

Application No: **HGY/2016/0999** Officer: Neil Collins
 Decision: GTD Decision Date: 12/08/2016
 Location: 14 Vincent Road N15 3QH
 Proposal: Erection of detached dwellinghouse and change of use from builder's yard

Application No: **HGY/2016/1170** Officer: Nanayaa Ampoma
 Decision: REF Decision Date: 28/06/2016
 Location: 41 Rusper Road N22 6RA
 Proposal: Conversion of house into two self contained flats and a rear dormer extension

Application No: **HGY/2016/1774** Officer: Samuel Uff
 Decision: GTD Decision Date: 07/07/2016
 Location: 39 Mannoek Road N22 6AB
 Proposal: Reconfiguration of rear first floor windows to replace two small windows with one larger bathroom window. Replacement of existing rear bedroom window with bifolding doors and Juliet balcony.

Application No: **HGY/2016/2080** Officer: Wendy Robinson
 Decision: GTD Decision Date: 27/07/2016
 Location: 327 Lordship Lane N17 6AB
 Proposal: Formation of a crossover

Application No: **HGY/2016/2090** Officer: Wendy Robinson
 Decision: GTD Decision Date: 22/07/2016
 Location: 200 Langham Road N15 3NB
 Proposal: Erection of a single storey side infill extension

Application No: **HGY/2016/2174** Officer: Samuel Uff
 Decision: GTD Decision Date: 01/08/2016
 Location: Ground Floor Flat A 27 Wilmot Road N17 6LH
 Proposal: Single storey rear conservatory

Application No: **HGY/2016/2247** Officer: Wendy Robinson
 Decision: GTD Decision Date: 03/08/2016
 Location: 207-209 Langham Road N15 3LH
 Proposal: Construction of a single storey rear extension to No. 209, retention of existing extension attaching outbuildings to existing rear extensions, insertion of 13no. roof lights to rear extension roof, replacement of shopfront to No. 207 and re-distribution of shop floor space between the two businesses

Application No: **HGY/2016/2306** Officer: Wendy Robinson
 Decision: GTD Decision Date: 10/08/2016
 Location: Rear of 470 West Green Road N15 3DA
 Proposal: Retention of existing single-storey extension over original shop rear yard, and conversion of the extension and former shop storage room into a 1 bedroom flat

LCD Applications Decided: 1

Application No: **HGY/2016/1521** Officer: Wendy Robinson
 Decision: GTD Decision Date: 28/06/2016
 Location: Broadwater Lodge Higham Road N17 6NN
 Proposal: Change of use of from Residential Institution (C2) to a Hostel (C1) comprising temporary accommodation for homeless households (50 rooms) for a temporary period of five years

PNC Applications Decided: 1

Application No: **HGY/2016/2100** Officer: Wendy Robinson
 Decision: PN GRANT Decision Date: 09/08/2016
 Location: 1A Stanmore Road N15 3PT
 Proposal: Prior Approval for the change of use from laundrette to C3 (dwellinghouse)

PNE Applications Decided: 3

Application No: **HGY/2016/1637** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 08/07/2016
 Location: 18 Rusper Road N22 6RA
 Proposal: Erection of single storey rear extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

Application No: **HGY/2016/1950** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 03/08/2016
 Location: 3 Rusper Road N22 6QY
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2029** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 04/08/2016
 Location: 227 Lordship Lane N17 6AA
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3.35 and for which the height of the eaves would be 3m

RES Applications Decided: 3

Application No: **HGY/2016/2185** Officer: Neil Collins
 Decision: GTD Decision Date: 04/08/2016
 Location: 270-274 West Green Road N15 3QR
 Proposal: Approval of details pursuant to condition 3 (materials) attached to planning permission reference: HGY/2016/1309

Application No: **HGY/2016/2186** Officer: Neil Collins
 Decision: GTD Decision Date: 04/08/2016
 Location: 270-274 West Green Road N15 3QR
 Proposal: Approval of details pursuant to condition 5 (commercial refuse and waste) attached to planning permission reference: HGY/2016/1309

Application No: **HGY/2016/2187** Officer: Neil Collins
 Decision: GTD Decision Date: 04/08/2016
 Location: 270-274 West Green Road N15 3QR
 Proposal: Approval of details pursuant to condition 6 (construction method statement) attached to planning permission reference: HGY/2016/1309

Total Applications Decided for Ward: 24

WARD: **White Hart Lane**

CLUP Applications Decided: 3

Application No: **HGY/2016/1709** Officer: Duncan McKane
 Decision: PERM DEV Decision Date: 20/07/2016
 Location: 159 Risley Avenue N17 7HP
 Proposal: Certificate of lawfulness for demolition of existing single storey rear extension and erection of new 3 metre rear single storey extension

Application No: **HGY/2016/1725** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 21/07/2016
 Location: 5 Great Cambridge Road N17 7LG
 Proposal: Certificate of lawfulness for loft conversion with rear dormer and 2 x front rooflights

Application No: **HGY/2016/1792** Officer: Anthony Traub
 Decision: PERM DEV Decision Date: 27/07/2016
 Location: 48 The Roundway N17 7EY
 Proposal: Certificate of Lawfulness for single storey rear extension, internal alterations to kitchen and living room, additional WC at ground floor and internal alterations to first floor bathroom.

COND Applications Decided: 1

Application No: **HGY/2016/1469** Officer: Valerie Okeiyi
 Decision: GTD Decision Date: 30/06/2016
 Location: 311 The Roundway N17 7AB
 Proposal: Variation of Condition 4 (hours of operation) following a grant of planning permission HGY/39099 to extend the hours of operation to 0600-2300hrs everyday.

FUL Applications Decided: 7

Application No: **HGY/2016/1444** Officer: David Farndon
 Decision: GTD Decision Date: 04/07/2016
 Location: 318A White Hart Lane N17 8LA
 Proposal: Erection of two storey side extension with minor internal alterations.

Application No: **HGY/2016/1460** Officer: Laurence Ackrill
 Decision: GTD Decision Date: 29/06/2016
 Location: 24 Topham Square N17 7HL
 Proposal: Installation of a standard domestic flue to the roof of the building.

Application No: **HGY/2016/1580** Officer: Duncan McKane
 Decision: GTD Decision Date: 11/07/2016
 Location: 1 Weir Hall Road N17 8LG
 Proposal: Raising of roof height in line with adjacent properties

Application No: **HGY/2016/1620** Officer: David Farndon
 Decision: REF Decision Date: 14/07/2016
 Location: 19 Wateville Road N17 7PT
 Proposal: Erection of porch extension

Application No: **HGY/2016/1649** Officer: Duncan McKane
 Decision: GTD Decision Date: 18/07/2016
 Location: Unit 1-3 St Georges Industrial Estate White Hart Lane N22 5QL
 Proposal: Alterations to existing shopfront

Application No: **HGY/2016/1671** Officer: Duncan McKane
 Decision: GTD Decision Date: 22/07/2016
 Location: 101 Norfolk Avenue N13 6AL
 Proposal: Ground and first floor side and rear extension

Application No: **HGY/2016/1752** Officer: David Farndon
 Decision: REF Decision Date: 28/07/2016
 Location: 13 Creighton Road N17 8JU
 Proposal: Conversion of property to form two self-contained flats

LCD Applications Decided: 1

Application No: **HGY/2016/1321** Officer: David Farndon
 Decision: GTD Decision Date: 18/07/2016
 Location: Parking Area Adjacent to 74-78 Fenton Road N17 7JQ
 Proposal: Construction of 7 new residential units on an existing car parking area

PNE Applications Decided: 3

Application No: **HGY/2016/1631** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 08/07/2016
 Location: 5 Great Cambridge Road N17 7LG
 Proposal: Erection of single storey rear extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.18m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2004** Officer: Anthony Traub
 Decision: PN REFUSED Decision Date: 04/08/2016
 Location: 191 Devonshire Hill Lane N17 7NP
 Proposal: Erection of a single storey extension which extends beyond the rear wall of the original house by 5.9m, for which the maximum height would be 3.7m and for which the height of the eaves would be 3m

Application No: **HGY/2016/2253** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 17/08/2016
 Location: 32 Courtman Road N17 7HU
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m

RES Applications Decided: 2

Application No: **HGY/2016/1596** Officer: Anthony Traub
 Decision: GTD Decision Date: 11/07/2016
 Location: Parking Area 74-84 Fenton Road N17 7JQ
 Proposal: Approval of details pursuant to Condition 3 (Materials) attached to Planning Permission HGY/2014/3510

Application No: **HGY/2016/1597** Officer: Anthony Traub
 Decision: GTD Decision Date: 11/07/2016
 Location: Parking Area 74-84 Fenton Road N17 7JQ
 Proposal: Approval of details pursuant to Condition 7 (Cycle Stores) attached to Planning Permission HGY/2014/3510

Total Applications Decided for Ward: 17WARD: **Woodside****CLDE Applications Decided: 2**

Application No: **HGY/2016/2009** Officer: Neil Collins
 Decision: GTD Decision Date: 29/07/2016
 Location: 24 Stuart Crescent N22 5NN
 Proposal: Certificate of Lawfulness for Existing Use of the property as 8 studio flats and 1 two-bed maisonette

Application No: **HGY/2016/2199** Officer: Nanayaa Ampoma
 Decision: REF Decision Date: 03/08/2016
 Location: 25 Stuart Crescent N22 5NN
 Proposal: Certificate of Lawful Development for the conversion of the property into 13 units.

CLUP Applications Decided: 5

Application No: **HGY/2016/2016** Officer: Neil Collins
 Decision: PERM DEV Decision Date: 04/07/2016
 Location: 14 Leith Road N22 5QA
 Proposal: Lawful development certificate for proposed rear dormer roof extension

Application No: **HGY/2016/2190** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 93 Granville Road N22 5LR
 Proposal: Lawful Development Certificate for the erection of a dormer and 4x rooflights.

Application No: **HGY/2016/2191** Officer: Nanayaa Ampoma
 Decision: PERM DEV Decision Date: 22/07/2016
 Location: 37 Berwick Road N22 5QB
 Proposal: Certificate of Lawfulness for the erection of a dormer and 3x rooflights.

Application No: **HGY/2016/2411** Officer: Wendy Robinson
 Decision: PERM DEV Decision Date: 27/07/2016
 Location: 28 Melrose Avenue N22 5EA
 Proposal: Certificate of lawfulness for a rear roof dormer extension

Application No: **HGY/2016/2512** Officer: Mr N Allen
 Decision: PERM DEV Decision Date: 04/08/2016
 Location: 3 Cumberland Road N22 7TD
 Proposal: Lawful Development Certificate for the proposed erection of dormer and 2x rooflights.

FUL Applications Decided: 14

Application No: **HGY/2015/1693** Officer: Zulema Nakata
 Decision: GTD Decision Date: 29/06/2016
 Location: Merlin Court Pellatt Grove N22 5PH
 Proposal: Formation of additional floor to existing block to provide 3 x 2 bed flats

Application No: **HGY/2016/0583** Officer: Neil Collins
 Decision: REF Decision Date: 27/07/2016
 Location: 29 Warberry Road N22 7TQ
 Proposal: Erection of single storey rear/side extension and first floor rear extension

Application No: **HGY/2016/1295** Officer: Nanayaa Ampoma
 Decision: GTD Decision Date: 28/06/2016
 Location: 14 Cranbrook Park N22 5NA
 Proposal: Excavation of front and rear lightwells.

Application No: **HGY/2016/1499** Officer: Nanayaa Ampoma
 Decision: REF Decision Date: 27/06/2016
 Location: 73 Dunbar Road N22 5BG
 Proposal: Erection of two storey 2x bedroom dwellinghouse.

Application No:	HGY/2016/1514	Officer:	Nanayaa Ampoma
Decision:	REF	Decision Date:	15/07/2016
Location:	5 Homecroft Road N22 5EL		
Proposal:	Conversion of existing dwellinghouse into 2x self-contained flats.		
Application No:	HGY/2016/1518	Officer:	Neil Collins
Decision:	GTD	Decision Date:	11/07/2016
Location:	35 Stirling Road N22 5BL		
Proposal:	Erection of first floor side extension, reduction of single storey rear extension and conversion into two self contained maisonettes		
Application No:	HGY/2016/1701	Officer:	Wendy Robinson
Decision:	GTD	Decision Date:	28/06/2016
Location:	35 Homecroft Road N22 5EL		
Proposal:	Erection of a rear roof dormer extension involving zinc-cladding, removal of existing chimney to the rear elevation and installation of 3no. "Velux" type rooflights to front elevation. Replacing and insulating the existing ground floor flat roof and installing rooflight. Enlarging ground floor window opening on rear elevation to create door and replacing existing ground floor rear doors, windows and rooflight. Applying rendered external insulation to existing ground floor extension.		
Application No:	HGY/2016/1731	Officer:	Neil Collins
Decision:	GTD	Decision Date:	28/06/2016
Location:	St Thomas More Catholic School Glendale Avenue N22 5HN		
Proposal:	Erection of single storey extension to dining block		
Application No:	HGY/2016/1746	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	30/06/2016
Location:	36 Ellenborough Road N22 5HA		
Proposal:	Single storey rear and side extension with decking and fencing over 2m high		
Application No:	HGY/2016/1776	Officer:	Gareth Prosser
Decision:	GTD	Decision Date:	04/08/2016
Location:	5 Park View Gardens N22 5SH		
Proposal:	First floor extension to existing single storey dwelling to facilitate 2 bedrooms and bathroom/shower room		
Application No:	HGY/2016/1894	Officer:	Samuel Uff
Decision:	GTD	Decision Date:	14/07/2016
Location:	Ground Floor Flat 92 Woodside Road N22 5HT		
Proposal:	Single storey rear extension		
Application No:	HGY/2016/2045	Officer:	Nanayaa Ampoma
Decision:	REF	Decision Date:	22/07/2016
Location:	45 Warberry Road N22 7TQ		
Proposal:	Erection of new house with associated single storey side and rear extension, first floor extension, dormer and external wall insulation to the front elevation.		

Application No: **HGY/2016/2287** Officer: Samuel Uff
 Decision: GTD Decision Date: 04/08/2016
 Location: Flat B 32 Sylvan Avenue N22 5HY
 Proposal: Rear dormer roof extension

Application No: **HGY/2016/2320** Officer: Gareth Prosser
 Decision: REF Decision Date: 10/08/2016
 Location: Flat A 13 Sylvan Avenue N22 5HX
 Proposal: Rear and side roof extensions and insertion of 4x velux windows all to facilitate a loft conversion

LCD Applications Decided: 3

Application No: **HGY/2016/1956** Officer: Wendy Robinson
 Decision: GTD Decision Date: 26/07/2016
 Location: 3-5 Williams Grove N22 5NR
 Proposal: Replacement of door entry

Application No: **HGY/2016/1963** Officer: Wendy Robinson
 Decision: GTD Decision Date: 26/07/2016
 Location: 97-107 Pellatt Grove N22 5NT
 Proposal: Replacement of door entry

Application No: **HGY/2016/1964** Officer: Wendy Robinson
 Decision: GTD Decision Date: 26/07/2016
 Location: 51 Pellatt Grove N22 5PN
 Proposal: Replacement of door entry

PNE Applications Decided: 1

Application No: **HGY/2016/2268** Officer: Anthony Traub
 Decision: PN NOT REQ Decision Date: 15/08/2016
 Location: 56 Maryland Road N22 5AN
 Proposal: Erection of single storey extension which extends beyond the rear wall of the original house by 4.85m, for which the maximum height would be 3.5m and for which the height of the eaves would be 2.1m

Total Applications Decided for Ward: 25

WARD: **Not Applicable - Outside Borough**

OBS Applications Decided: 8

Application No: **HGY/2016/0861** Officer: Adam Flynn
 Decision: NOT DET Decision Date: 01/08/2016
 Location: Meridian Water Willoughby Lane and Meridian Way N18
 Proposal: Development of phase 1 of Meridian Water comprising up to 725 residential units, new station building, platforms and associated interchange and drop off facilities including a pedestrian link across the railway, a maximum of 1250 sqm retail(A1/A2/A3), floorspace, a maximum of 750 sqm of leisure (D2) floorspace, associated site infrastructure works including ground and remediation works, roads, cycle-ways and associated plant, public open space and children's play areas and various temporary meantime uses without structures (landscaping and open-space). OUTLINE APPLICATION - ACCESS ONLY. An Environmental Statement, including a non-technical summary, also accompanies the planning application in accordance with the Town and Country planning (Environmental Impact Assessment) regulations 2011 (as amended by the 2015 Regulations)

Application No:	HGY/2016/1782	Officer:	Matthew Gunning
Decision:	RNO	Decision Date:	01/07/2016
Location:	3 Durham Road N2 9DP		
Proposal:	Roof extension involving rear dormer (Observations to L.B. Barnet)		
Application No:	HGY/2016/1835	Officer:	Matthew Gunning
Decision:	RNO	Decision Date:	05/07/2016
Location:	Flat 4 7 Hampstead Lane N6 4RT		
Proposal:	Construction of a pitched roof over the existing 2nd floor side projection to provide an additional habitable room (Observations to L.B. Camden)		
Application No:	HGY/2016/2002	Officer:	John McRory
Decision:	NOT DET	Decision Date:	17/08/2016
Location:	Tower Court Clapton Common E5 9AJ		
Proposal:	Redevelopment of the site to provide three blocks of 6 storeys with a fourth part-6, part-12 storey block, consisting of 13,247sqm GIA of Class C3 residential accommodation comprising 132 dwellings (1- to 5-bedrooms) in a mix of tenures, Class D1 community ambulance depot (361sqm GIA), basement energy centre and ground floor substation (314sqm GIA), public realm, parking and access, landscaping and associated works - Hackney Reference: 2016/1930 (Observations to L.B. Hackney)		
Application No:	HGY/2016/2097	Officer:	John McRory
Decision:	RNO	Decision Date:	17/08/2016
Location:	Athlone House Hampstead Lane N6 4RU		
Proposal:	Restoration and extension of Athlone House for use as a 6 bedroom single dwelling house; creation of new vehicular/pedestrian entrance from Hampstead Lane and associated part demolition of boundary wall; refurbishment and extension of Caen Cottage and refurbishment of the Gate House, both to be used as ancillary residential accommodation; erection of a summer house on disused tennis court within the grounds; and associated landscaping works and restoration of historic garden. (Observations to L.B. Camden)		
Application No:	HGY/2016/2117	Officer:	Matthew Gunning
Decision:	RNO	Decision Date:	27/07/2016
Location:	Whitehall Park School Ashmount Road N19 3BH		
Proposal:	Erection of 4 x double height temporary modular units and associated works, providing a temporary school accommodation while construction of permanent school building is undertaken (Observation to London Borough of Islington)		
Application No:	HGY/2016/2302	Officer:	Matthew Gunning
Decision:	RNO	Decision Date:	28/07/2016
Location:	314 Seven Sisters Road N4 2AP		
Proposal:	Retention of ATM machine and bollards (observations to L.B. Hackney)		
Application No:	HGY/2016/2582	Officer:	Matthew Gunning
Decision:	RNO	Decision Date:	18/08/2016
Location:	25 Alston Road N18 2LA		
Proposal:	Observation to London Borough of Enfield for Single storey rear extension		

Total Applications Decided for Ward: 8

Total Number of Applications Decided: 685

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